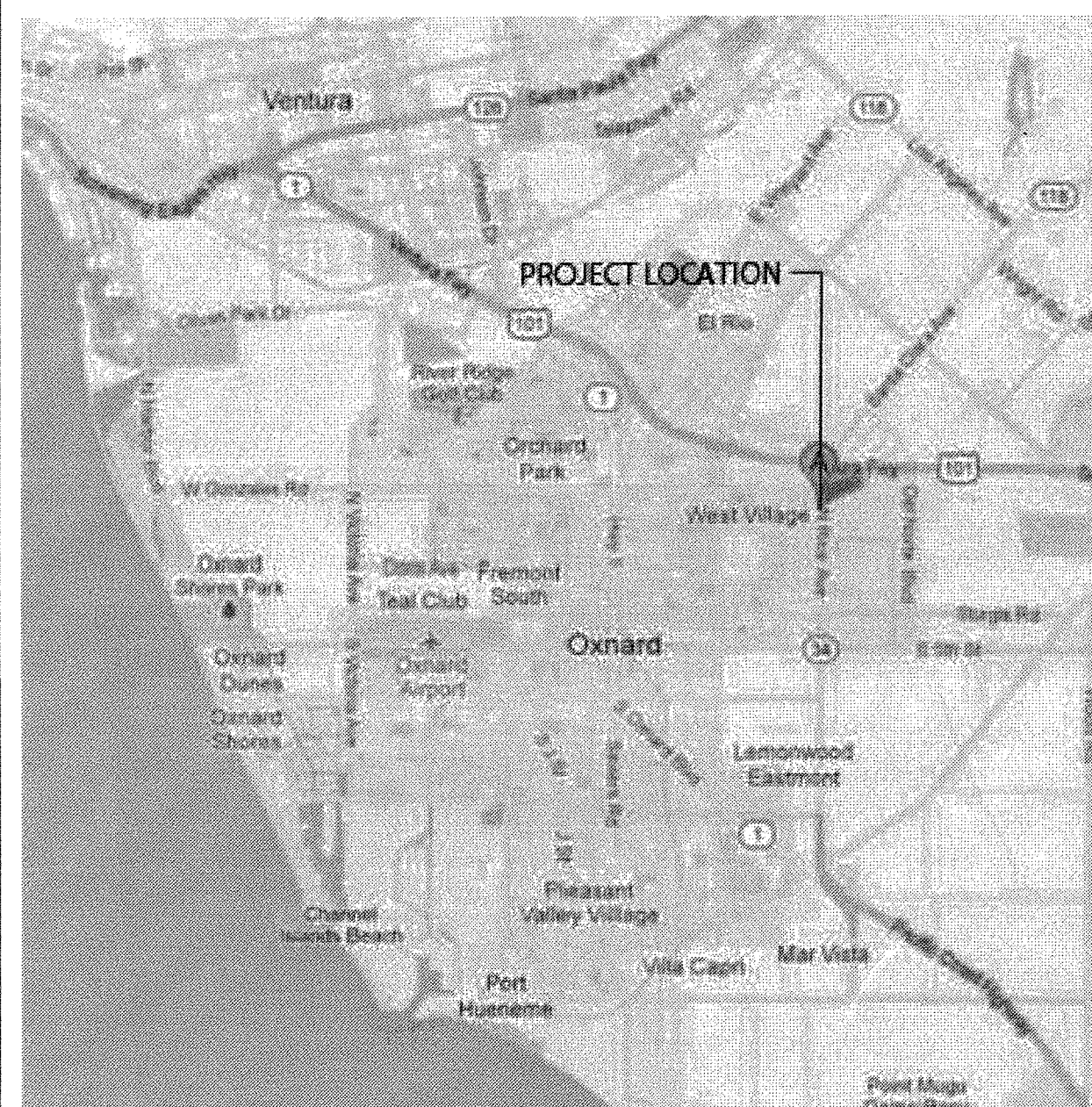


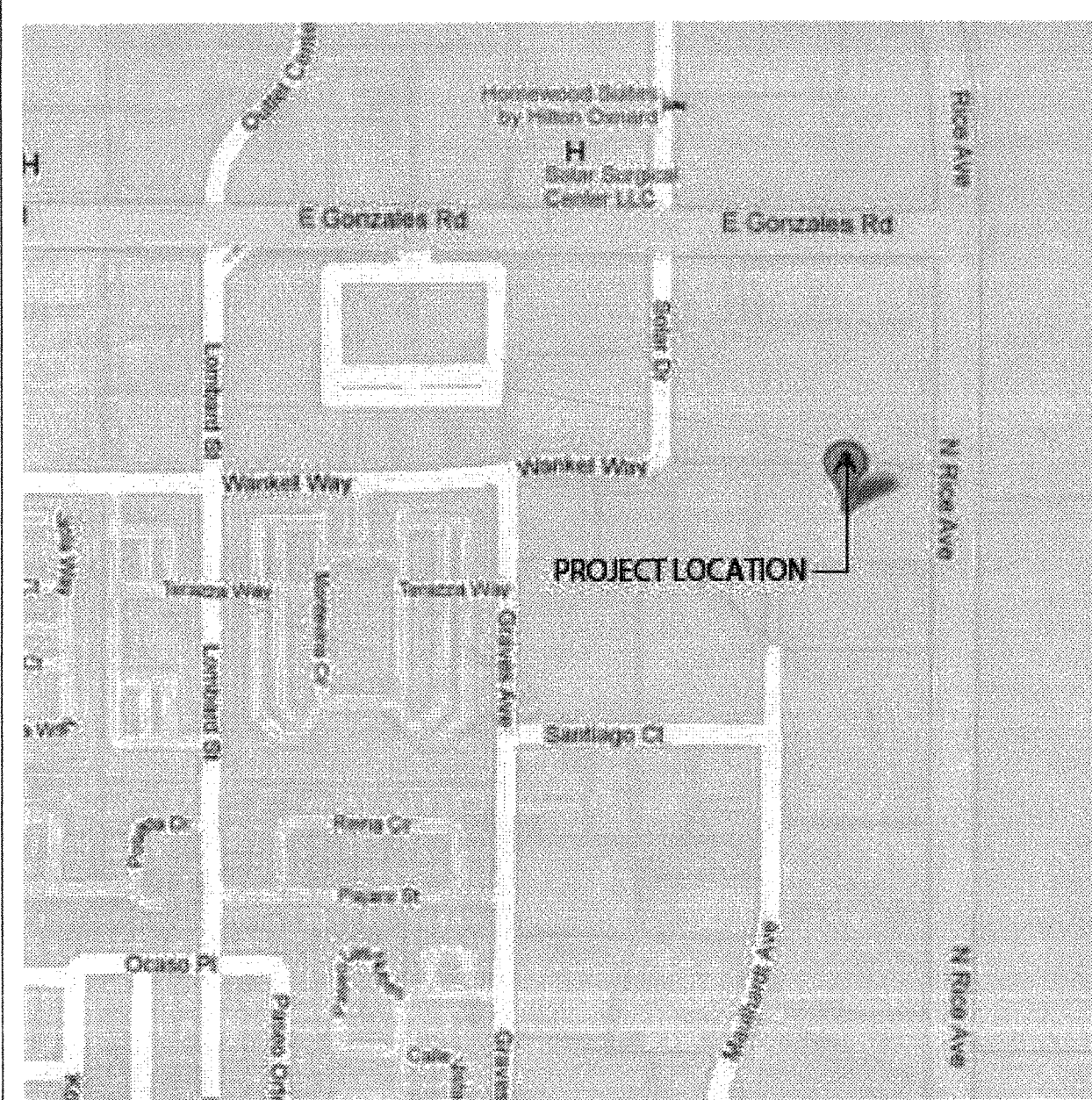
**DEPARTMENT OF BUILDING NOTES**

- THIS DRAWING IS FILED TO SHOW TENANT RENOVATIONS. ALL EXISTING AND BASE BUILDING CONSTRUCTION PREVIOUSLY APPROVED.
- SPECIAL INSPECTION SHALL BE REQUIRED FOR THE FOLLOWING:
  - FIRE STOPPING
  - FIRE RETARDANT CONSTRUCTION
- ALL INTERIOR FINISHES SHALL COMPLY WITH THE CALIFORNIA BUILDING CODE, SECTION 801.
- ALL WOOD AND WOOD PRODUCTS TO BE USED ON THIS PROJECT SHALL BE FIRE RETARDANT TREATED IN ACCORDANCE WITH SECTIONS 803.1 OF THE CALIFORNIA BUILDING CODE. THIS REQUIREMENT SHALL INCLUDE, BUT NOT BE LIMITED TO, CABINETS, WALL PANELS, TELECOMMUNICATIONS BACKBOARDS, BLOCKING, FURRING, SHIMMING AND ALL MISCELLANEOUS FRAMING ELEMENTS USED IN OR ATTACHED TO FLOOR, PARTITION AND CEILING CONSTRUCTION.
- MECHANICAL, ELECTRICAL AND PLUMBING PENETRATIONS TO BE SUBMITTED UNDER DEFERRED SUBMITTAL

**VICINITY MAP**



**LOCATION MAP**



**ASBESTOS NOTE**

IN THE EVENT OF ASBESTOS OR OTHER TOXIC SUBSTANCE EXPOSURE OR THE SUBSTANTIAL RISK THEREOF, CLIENT WILL HAVE THE DUTY TO INFORM ARCHITECT OF SUCH RISKS KNOWN OR REASONABLY KNOWNABLE TO CLIENT. IF ASBESTOS OR ANY OTHER TOXIC SUBSTANCE, OR RISKS TO EXPOSURE THEREOF IS DISCOVERED BY ARCHITECT DURING WORK ON THE PROJECT, ARCHITECT SHALL, IN ITS SOLE DISCRETION, HAVE THE RIGHT TO SUSPEND WORK ON THE PROJECT. CLIENT SHALL HAVE THE DUTY PROMPTLY TO RETAIN A QUALIFIED EXPERT SAFELY TO RENDER OR SUPERVISE THE REMOVAL OF SUCH ASBESTOS OR OTHER TOXIC SUBSTANCE. CLIENT SHALL INDEMNIFY AND HOLD ARCHITECT, ITS AFFILIATES AND SUB-CONTRACTORS, AND THEIR OFFICERS, AGENTS AND EMPLOYEES HARMLESS FROM ANY AND ALL LIABILITY ON PART OF OR DAMAGE TO SUCH ENTITIES OR PERSONS, INCLUDING THE COST OF LEGAL FEES AND EXPENSES, AS SUCH FEES AND EXPENSES ARE INCURRED, WHICH MAY RESULT FROM ASBESTOS OR OTHER TOXIC SUBSTANCE EXPOSURE ON THE PROJECT.

**PROJECT DESCRIPTION**

THIS PROJECT OCCUPIES PORTIONS OF THE GROUND, SECOND AND THIRD FLOOR AND IS A SINGLE TENANT RENOVATION INCLUDING ARCHITECTURAL, MECHANICAL, ELECTRICAL AND PLUMBING MODIFICATIONS. SCOPE OF WORK INCLUDES: NEW FINISHES IN BATHROOMS, NEW FINISHES AND MILLWORK IN GROUND FLOOR LOBBY AND CAFETERIA, DEMOLITION OF EXISTING ELEVATOR LOBBIES AND BREAK ROOMS ON SECOND AND THIRD FLOORS, NEW CONFERENCE ROOMS, QUIET ROOMS, AND PANTRY ON SECOND AND THIRD FLOORS, NEW EXTERIOR SIGN AT MAIN PARKING ENTRY.

**APPLICABLE CODES**

- CALIFORNIA BUILDING CODE 2010 (TITLE 24, PART 2)
- CITY OF OXNARD MUNICIPAL CODES
- CALIFORNIA CODE OF REGULATIONS (CCR) WITH CURRENT AMENDMENTS
  - A. TITLE 8, INDUSTRIAL REGULATIONS
  - B. TITLE 19, PUBLIC SAFETY - STATE FIRE MARSHAL
  - C. TITLE 24, BUILDING STANDARDS
- CALIFORNIA MECHANICAL CODE 2010
- CALIFORNIA ELECTRICAL CODE 2010
- CALIFORNIA PLUMBING CODE 2010
- CALIFORNIA FIRE CODE 2010
- NFPA VOLS 1-12
- CALIFORNIA ENERGY CODE 2010

**DRAWING INDEX**

ISSUES & REVS	NEW ISSUE	REVISED ISSUE	ISSUED WITH NO CHANGES	REMOVED FROM SET - NOT ISSUED	REMARKS
<b>ARCHITECTURAL</b>					
A00.00_SD					COVER SHEET
A00.01_SD					DRAWING INDEX, LOCATION MAP, PROJECT INFORMATION, TYPICAL CEILING DETAIL, & BUILDING SEPT. NOTES
A00.10_SD					GRAPHIC SYMBOLS
A00.11_SD					NOTES, TYPICAL MOUNTING HEIGHTS
A00.20_SD					ACCESSIBILITY DIAGRAMS
A00.21_SD					PARTITION TYPES
A00.22_SD					PARTITION TYPES
A00.50_SD					SITE PLAN
A00.51_SD					SITE MODIFICATIONS
A00.60_SD					GROUND FLOOR EGRESS PLAN
A00.61_SD					SECOND FLOOR EGRESS PLAN
A00.62_SD					THIRD FLOOR EGRESS PLAN
A01.01_SD					FIRST FLOOR DEMOLITION PLAN
A01.02_SD					SECOND FLOOR DEMOLITION PLAN
A01.03_SD					THIRD FLOOR DEMOLITION PLAN
A02.01_SD					FIRST FLOOR CONSTRUCTION PLAN
A02.02_SD					SECOND FLOOR CONSTRUCTION PLAN
A02.03_SD					THIRD FLOOR CONSTRUCTION PLAN
A08.01_SD					ENTRY KIOSK DETAILS
A08.02_SD					ENTRY KIOSK DETAILS
A08.04_SD					RECEPTION DESK DETAILS
A08.40_SD					ENLARGED PLANS
A08.41_SD					ENLARGED PLANS
A08.42_SD					ENLARGED PLANS
A08.77_SD					CAFETERIA ENLARGED PLANS
A08.78_SD					CAFETERIA ENLARGED PLANS
A08.81_SD					TYPICAL RESTROOM DETAILS
A08.82_SD					TYPICAL RESTROOM DETAILS
A11.00_SD					INTERIOR ELEVATIONS
A12.00_SD					TYPICAL GLASS FRONT AND PLAN DETAILS
A12.10_SD					TYPICAL CEILING DETAILS
A12.20_SD					TYPICAL MILLWORK DETAILS
A12.21_SD					TYPICAL MILLWORK DETAILS
A12.25_SD					CAFETERIA MILLWORK DETAILS
A13.00_SD					EXTERIOR SIGNAGE MONUMENT DETAILS
<b>CIVIL</b>					
C-01.00					SITE PLAN
<b>FIRE PROTECTION</b>					
<b>PLUMBING</b>					
P-001					NOTES, SYMBOLS AND ABBREVIATIONS
P-102					PLUMBING SPECIFICATIONS
P-101					PARTIAL 1ST FLOOR PLUMBING PLAN
P-102					PARTIAL 2ND FLOOR PLUMBING PLAN
P-103					PARTIAL 3RD FLOOR PLUMBING PLAN
P-401					RESTROOMS ENLARGED PLANS
P-601					PLUMBING DETAILS
<b>MECHANICAL</b>					
M-001					MECHANICAL COVER SHEET
M-002					MECHANICAL SPECIFICATIONS
M-003					TITLE 24
M-101					PARTIAL MECHANICAL PLAN FIRST FLOOR
M-102					PARTIAL MECHANICAL PLAN SECOND FLOOR
M-103					PARTIAL MECHANICAL PLAN THIRD FLOOR
M-501					MECHANICAL DETAILS
M-701					MECHANICAL SCHEDULES
M-402C					SECOND AND THIRD FLOOR RESTROOM ENLARGED MECHANICAL PLANS
<b>ELECTRICAL</b>					
E-001					MECHANICAL COVER SHEET
E-002					SPECIFICATION
E-003					TITLE 24 COMPLIANCE SCHEDULES
E-101					1ST FLOOR OVERALL PLAN
E-102					2ND FLOOR OVERALL PLAN
E-103					3RD FLOOR OVERALL PLAN
EL-401					1ST FLOOR PARTIAL DEMOLITION AND LIGHTING PLAN
EL-402					2ND AND 3RD FLOOR PARTIAL LIGHTING PLAN
ELD-401					2ND AND 3RD FLOOR PARTIAL LIGHTING AND DEMOLITION PLANS
EP-401					1ST FLOOR PARTIAL DEMOLITION AND POWER PLAN
EP-402					2ND AND 3RD FLOOR PARTIAL POWER PLANS
EP-401					2ND AND 3RD FLOOR PARTIAL POWER DEMOLITION PLANS
E-801					ELECTRICAL DETAILS
E-601					SINGLE LINE DIAGRAM
E-701					PANEL SCHEDULES
E-702					PANEL SCHEDULES
E-703					PANEL SCHEDULES
<b>IT</b>					
<b>AUDIO VISUAL</b>					
<b>SECURITY</b>					

APPROVED  
BY: \_\_\_\_\_  
DATE: \_\_\_\_\_  
CITY OF OXNARD  
PLANNING

*7/15/12*  
*\*SEE NOTE ON CIVIL SHEET*  
*\*\* ENFORCEMENT PERMIT + INSPECTION FEE Req'd*

Issue	Date & Issue Description	By	Check
01	06/22/12	SJ	SJ
PROGRESS SET			
02	07/31/12	ES/MC	SJ
Issued for Plan Check			
1	08/10/12	ES/MC	SJ
ISSUED FOR CONSTRUCTION			
2	09/12/12	ES/MC	SJ
BULLETIN # 1			
3	10/05/12	ES/MC	SJ
REVISED FOR PLAN CHECK COMMENTS			
4	11/14/12	ES	SJ
REVISED PER PLAN CHECK COMMENTS			
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PLAN CHECK			
5	11/19/12	ES	SJ
BULLETIN #3			
6	02/21/13	ES	SJ
BULLETIN #4			
6	10/12/13	ES	SJ
BULLETIN #4 REVISED			
6	11/05/13	ES	SJ
BULLETIN #4 REVISED			
6	12/05/13	ES	SJ
BULLETIN #6 REVISED FOR PLAN CHECK			

Project Name: VERIZON V.I.P.  
Project Number: 06.8740.000  
CAD File Name: A00-00  
Description: INDEX  
Scale: \_\_\_\_\_  
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**A00.00\_SD**

**Verizon**  
1800 Solar Drive  
Oxnard, CA 93030

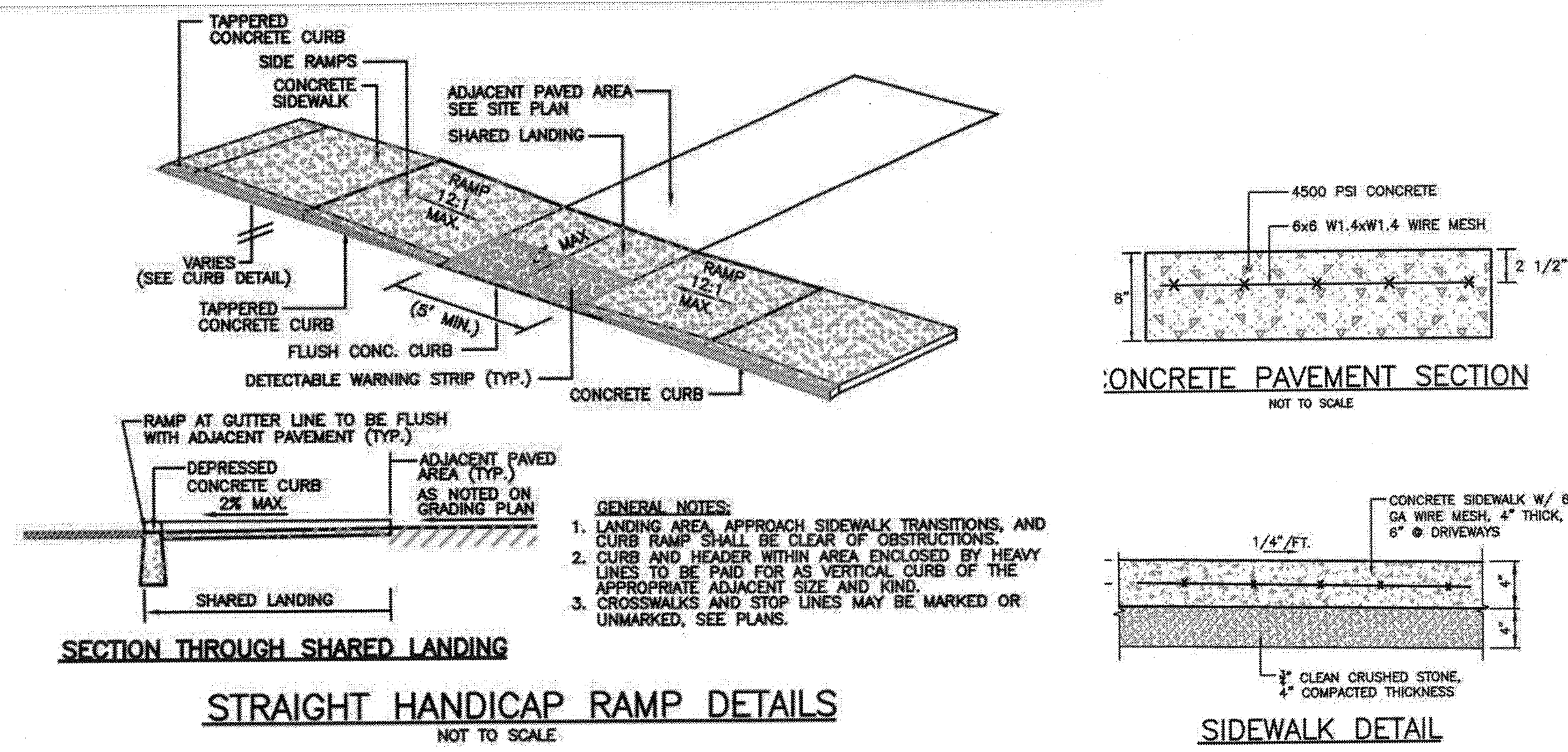
**Gensler**  
230 Avenue of the Americas  
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CLIENT

12-3988





**SIDEWALK DETAILS**

**16**

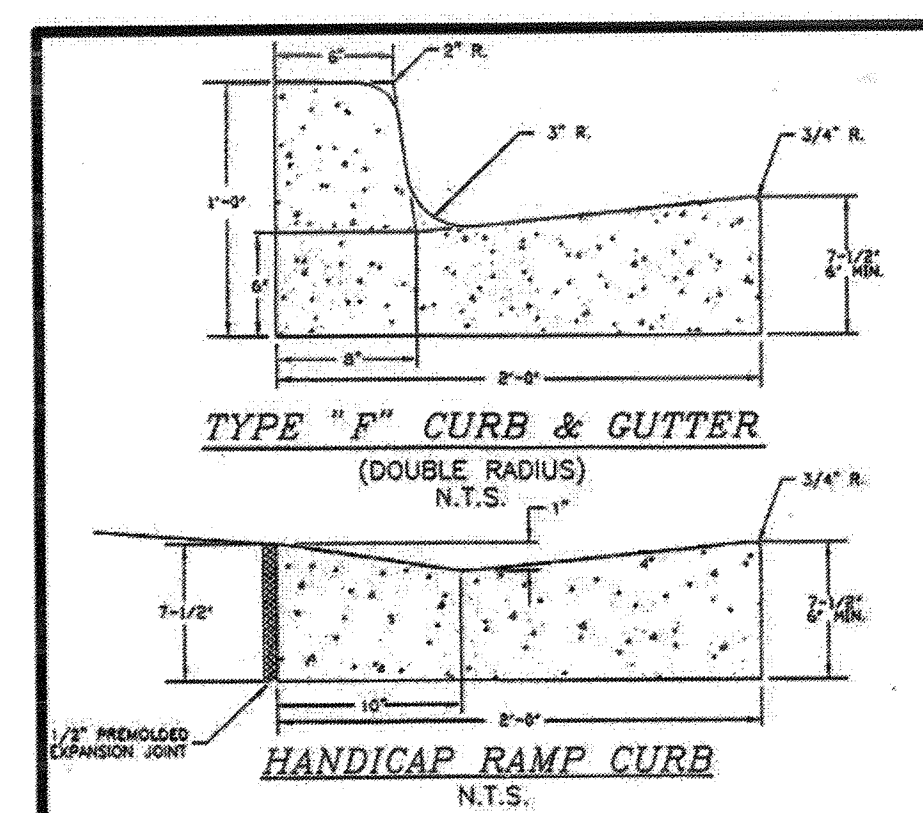
TOTAL PARKING STALLS ON SITE CURRENTLY:  
STANDARD 432  
HANDICAP 8

REQUIRED PARKING STALLS - 1/250 SF  
BUILDING AREA = 41,000 SF  
41,000 SF/250 SF = 164 STALLS REQUIRED - 432. THEREFORE 2 STALLS CAN BE REMOVED TO CREATE AN ACCESSIBLE WALKWAY TO THE BUILDING.

TOTAL AMOUNT OF LANDSCAPING DISTURBED = 66 SF

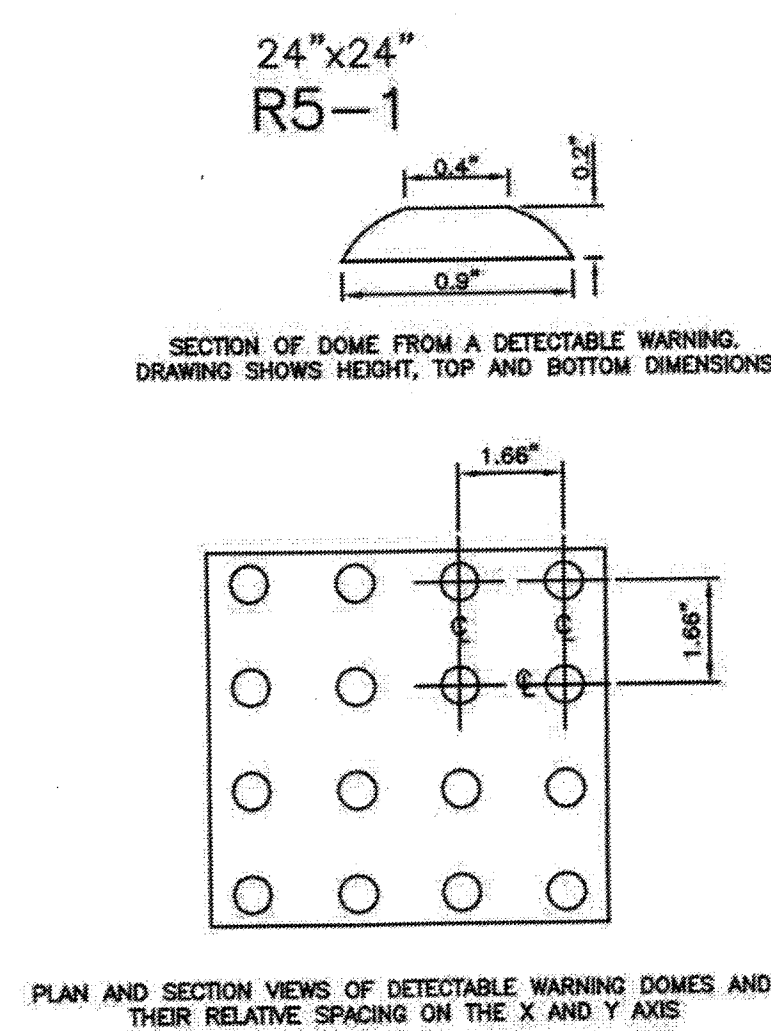
**PARKING CALCULATIONS**

**17**



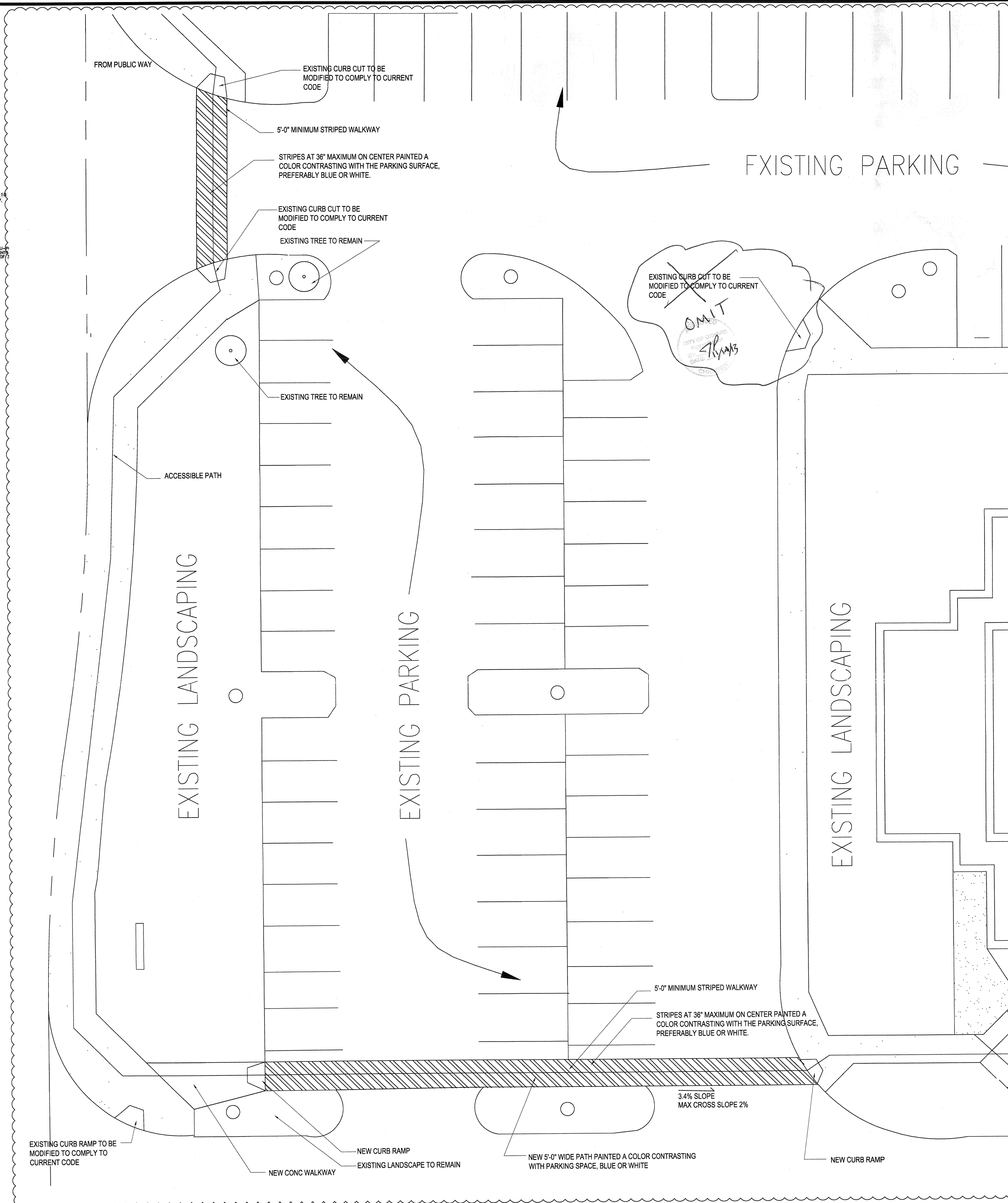
**CURB DETAILS**

**18**



**TRUNCATED DOME DETAIL**

**19 ENLARGED SITE PLAN**



**SHEET NOTES**

**GENERAL NOTES**



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Issue	Date & Issue Description	By	Check
4	01 12/21/12	ES	SJ
	PLAN CHECK		
6	02 01/22/13	ES	SJ
	BULLETIN #4		
6	03 01/29/13	ES	SJ
	BULLETIN #4		
6	04 02/21/13	ES	SJ
	BULLETIN #4		
6	05 05/14/13	ES	SJ
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**Scale/Signature**



Project Name  
VERIZON V.I.P.

Project Number  
06.8740.000

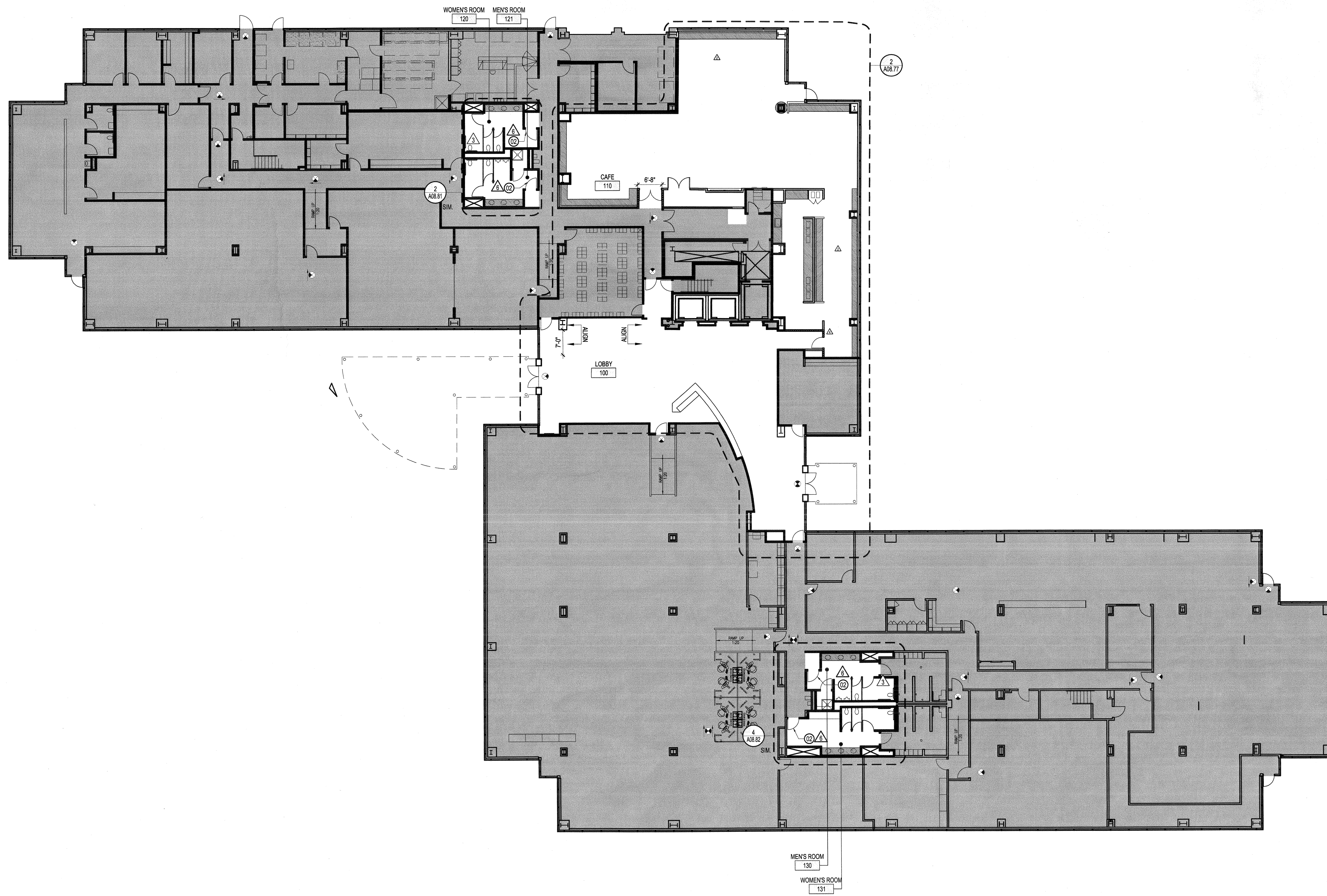
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A00-10

Description  
SITE MODIFICATIONS

Scale

**A00.51\_SD**

**5**

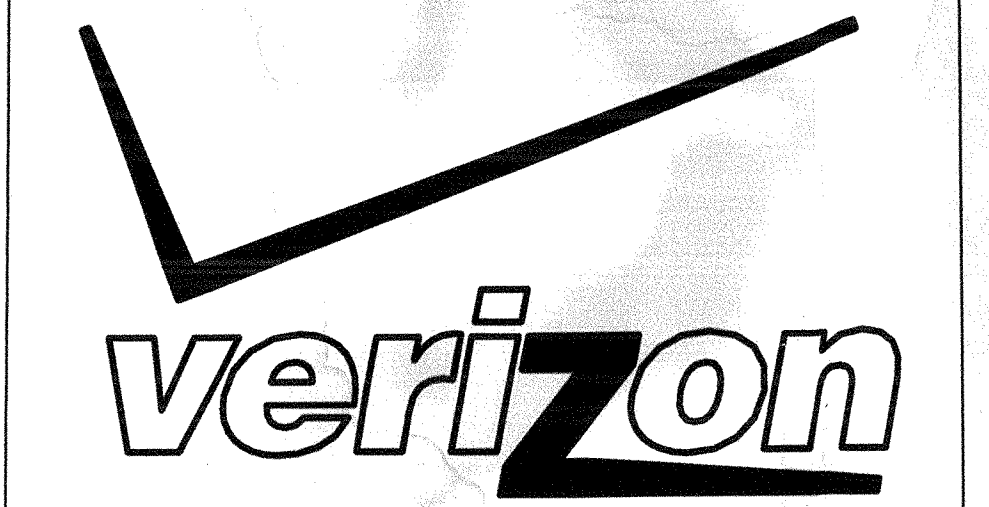


**SHEET NOTES**

- ① EXISTING ELEVATOR CAB SIZE CANNOT BE MADE COMPLIANT DUE TO STRUCTURAL IMPRACTICALITY
- ② REPLACE EXISTING LATCHSET WITH NEW BLANK STRIKES AND PUSH/PULL HARDWARE.

**GENERAL NOTES**

1. ALL WALLS IN SCOPE TO RECEIVE PAINT, PT1 AND BASE, R01 U.O.N.
2. SEE A13.03 FOR ADDITIONAL MONUMENT LOCATIONS AND DETAILS.
3. INSTALL NEW ROLLER SHADE IN EXISTING BRACKETS ON NORTH, SOUTH, AND WEST FACADES.
4. FURNITURE VENDOR TO PROVIDE QUANTITY OF FURNITURE NOTED/TAGGED.
5. ALL NEW FURNITURE IS PROVIDED AND INSTALLED BY FURNITURE VENDOR.
6. REFER TO AV PACKAGE FOR ALL AV EQUIPMENT INFORMATION WHERE APPLICABLE.
7. VERIFY FURNITURE DIMENSIONS FOR LAYOUT IN FIELD.
8. SEE FURNITURE SPECIFICATION DOCUMENT FOR ALL NEW FURNITURE NOTED/TAGGED.



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Issue	Date & Issue Description	By	Check
01	06/22/12	SJ	SJ
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02	07/31/12	ESMC	SJ
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04	09/04/12	SLR	SJ
ISSUED FOR FURN PRICING			
3	05 10/05/12	ESMC	SJ
REVISED FOR PLAN CHECK COMMENTS			
4	06 12/21/12	ES	SJ
PLAN CHECK			
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BULLETIN #3			
6	08 02/21/13	ES	SJ
BULLETIN #4			
6	09 03/12/13	ES	SJ
BULLETIN #4 REVISED			
6	10 05/14/13	ES	SJ
BULLETIN #6 REVISED FOR PLAN CHECK			

Seal/Signature



Project Name

VERIZON V.I.P.

Project Number

06.8740.000

CAD File Name

A01-01

Description

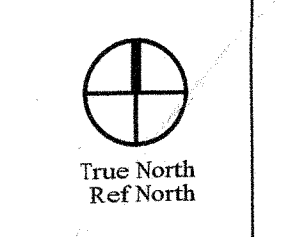
FIRST FLOOR CONSTRUCTION PLAN

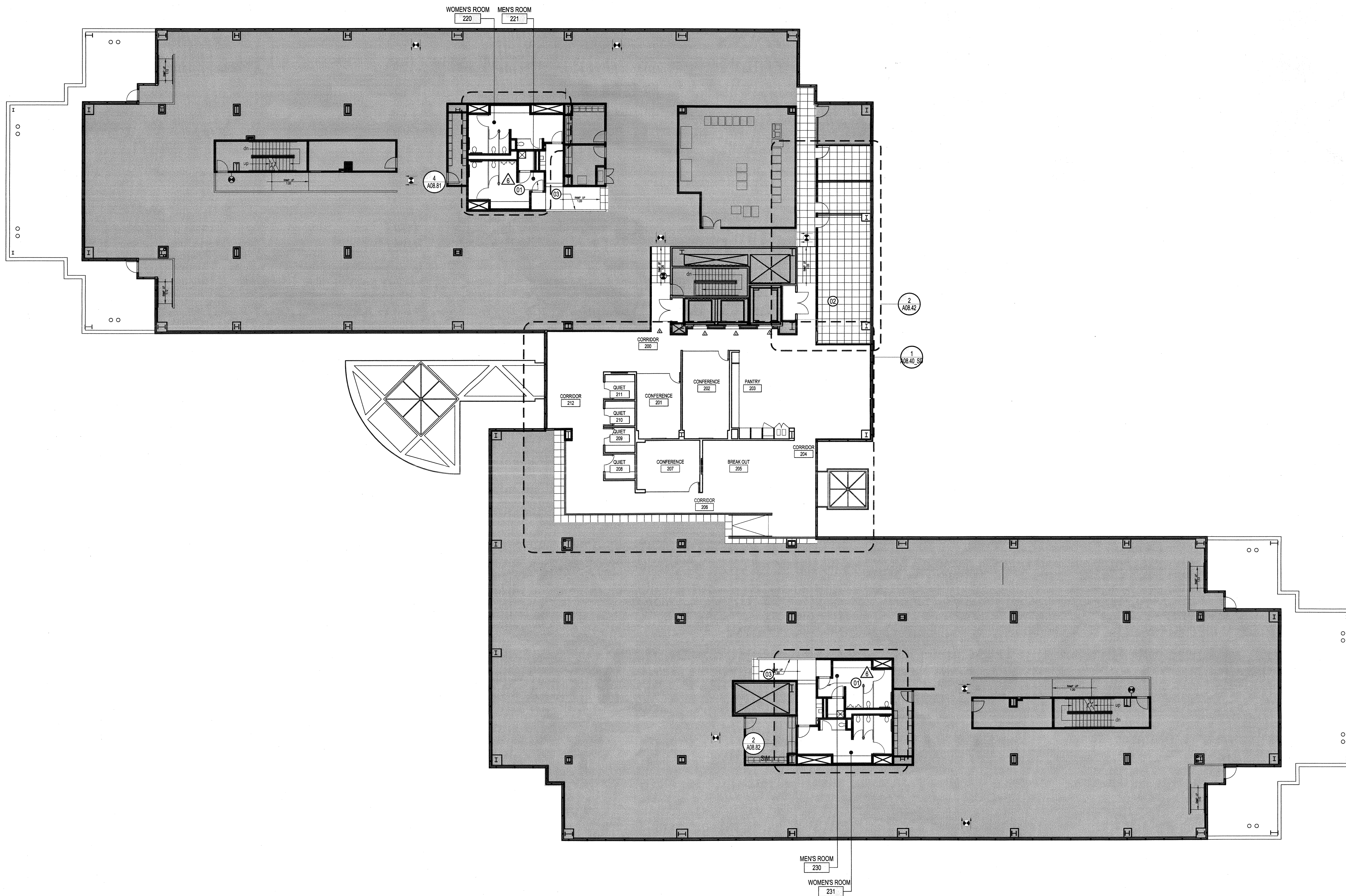
Scale

3/32" = 1'-0"

**A02.01\_SD**

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- SHEET NOTES**
- ① REPLACE EXISTING LATCHSET WITH NEW BLANK STRIKES AND PUSH/PULL HARDWARE.
  - ② NEW OR RELOCATED RAISED FLOOR TILE & PEDESTALS. REFER TO SPECIFICATIONS FOR INFO ON NEW RAISED FLOOR SYSTEMS.
  - ③ PROVIDE NEW PAINT GRADE WOOD CAP ON EXIST LOW WALL. PAINT TO MATCH EXIST WALL COLOR.

- GENERAL NOTES**
- 1. FOR FURTHER INFORMATION SEE A08 SERIES.
  - 2. INSTALL NEW ROLLER SHADE IN EXISTING BRACKETS ON NORTH, SOUTH, AND WEST FACADES.



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REVISED FOR PLAN CHECK COMMENTS			
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PLAN CHECK			
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BULLETIN #3			
6	02/21/13	ES	SJ
BULLETIN #4			
6	03/12/13	ES	SJ
BULLETIN #4 REVISED			
6	05/14/13	ES	SJ
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Seal/Signature



Project Name  
VERIZON V.I.P.

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06.8740.000

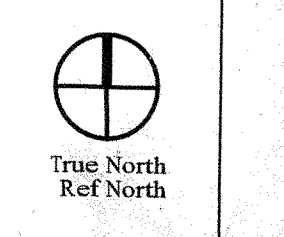
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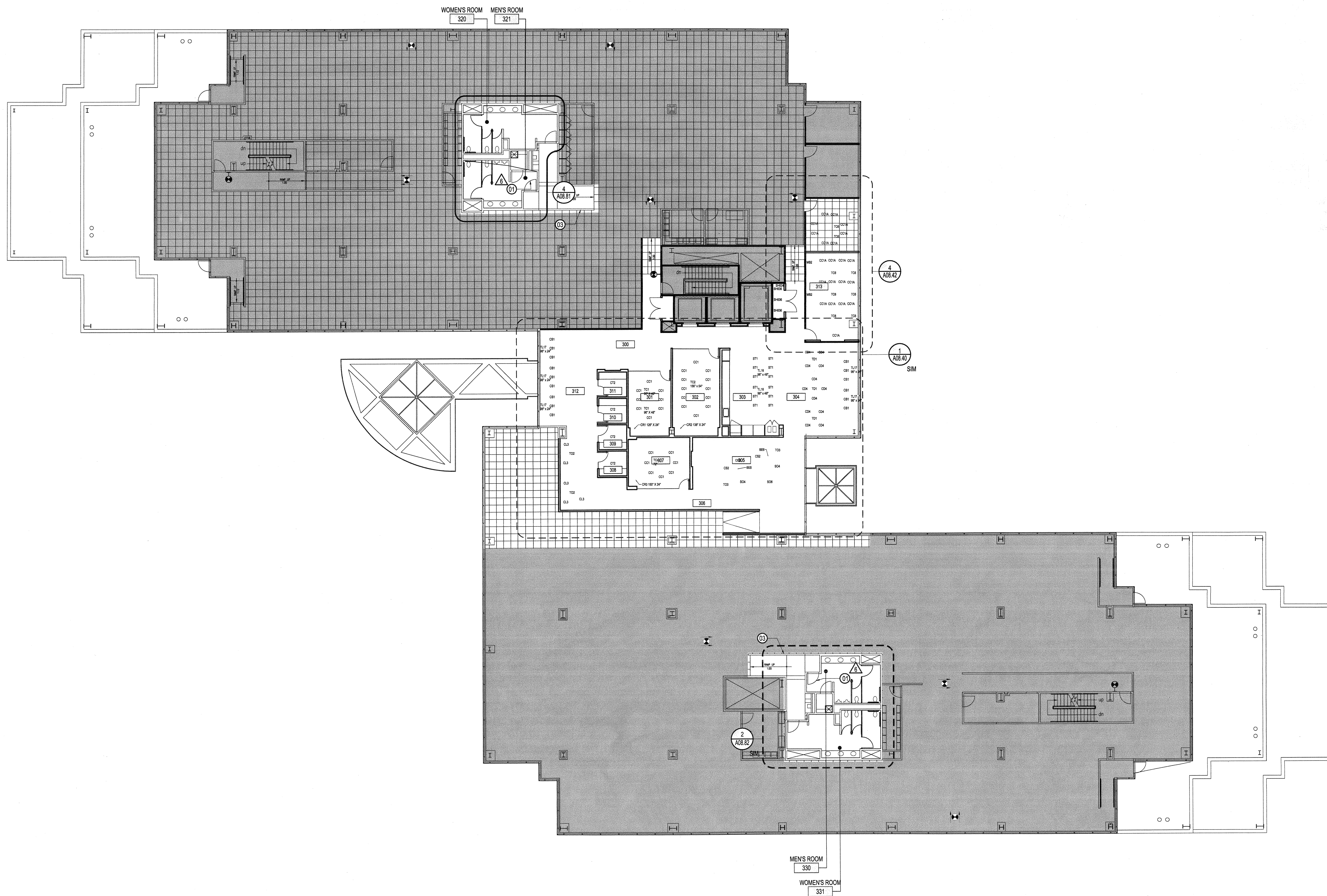
Description  
SECOND FLOOR CONSTRUCTION PLAN

Scale  
3/32" = 1'-0"

**A02.02\_SD**

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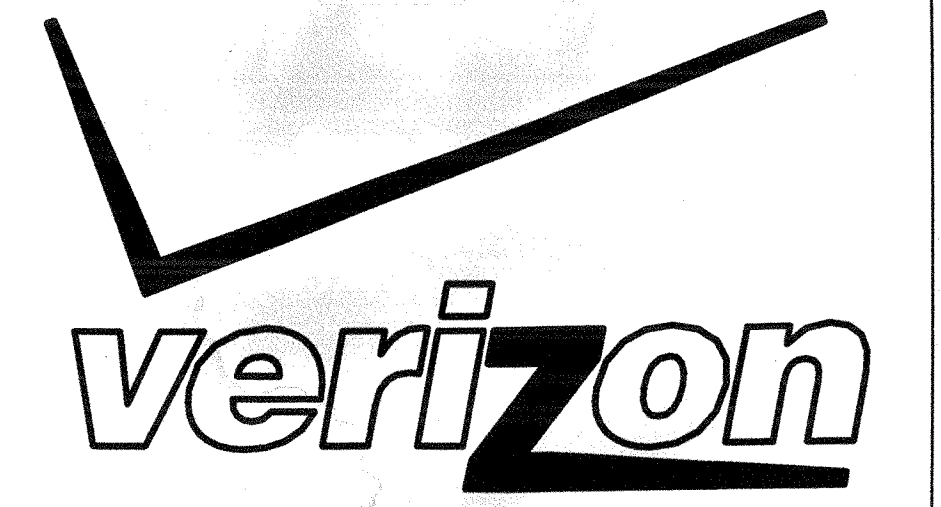


**SHEET NOTES**

- ① REPLACE EXISTING LATCHSET WITH NEW BLANK STRIKES AND PUSH/PULL HARDWARE.
- ② NEW OR RELOCATED RAISED FLOOR TILE & PEDESTALS. REFER TO SPECIFICATIONS FOR INFO ON NEW RAISED FLOOR SYSTEMS.
- ③ PROVIDE NEW PAINT GRADE WOOD CAP ON EXIST LOW WALL. PAINT TO MATCH EXIST WALL COLOR.

**GENERAL NOTES**

- 1. FOR FURTHER INFORMATION SEE A08 SERIES.
- 2. INSTALL NEW ROLLER SHADE IN EXISTING BRACKETS ON NORTH, SOUTH, AND WEST FACADES.



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Issue	Date & Issue Description	By	Check
01	06/22/12	SJ	SJ
PROGRESS SET			
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REVISED FOR PLAN CHECK COMMENTS			
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PLAN CHECK			
5	11/19/12	ES	SJ
BULLETIN #3			
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BULLETIN #6 REVISED FOR PLAN CHECK			

Seal/Signature

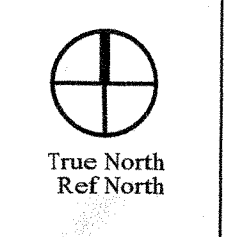
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VERIZON V.I.P.

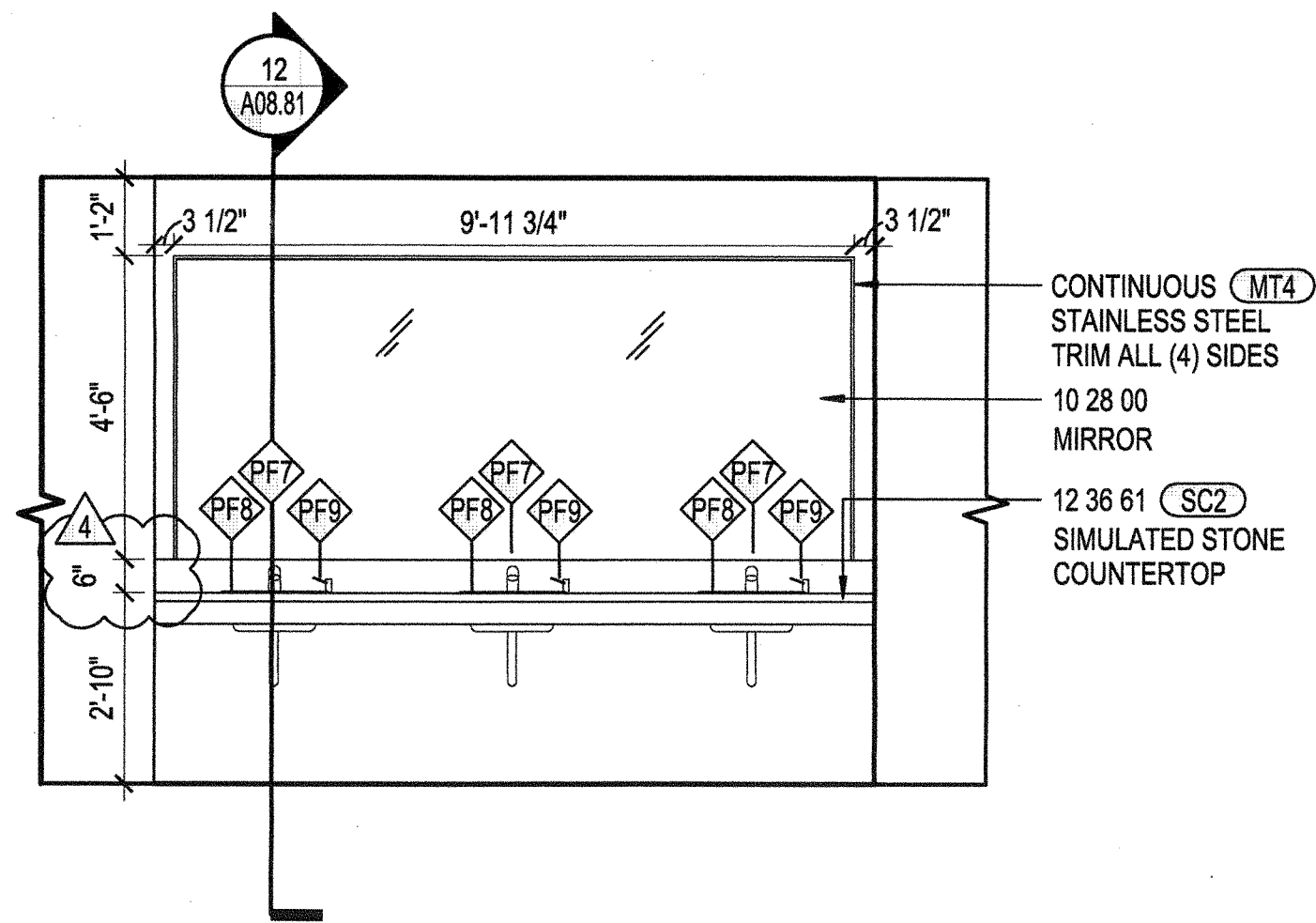
Project Number  
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CAD File Name  
A01-01  
Description  
THIRD FLOOR CONSTRUCTION PLAN

Scale  
3/32" = 1'-0"

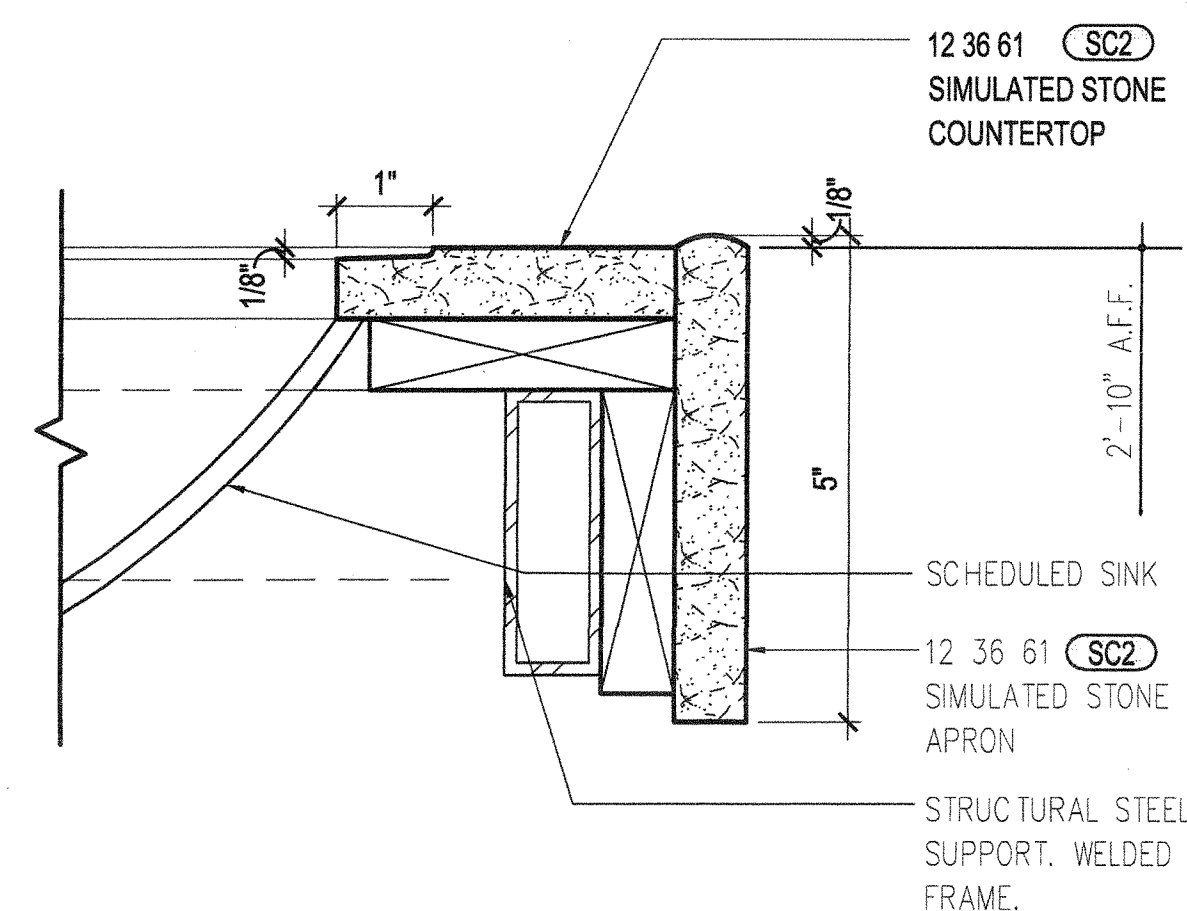
**A02.03\_SD**

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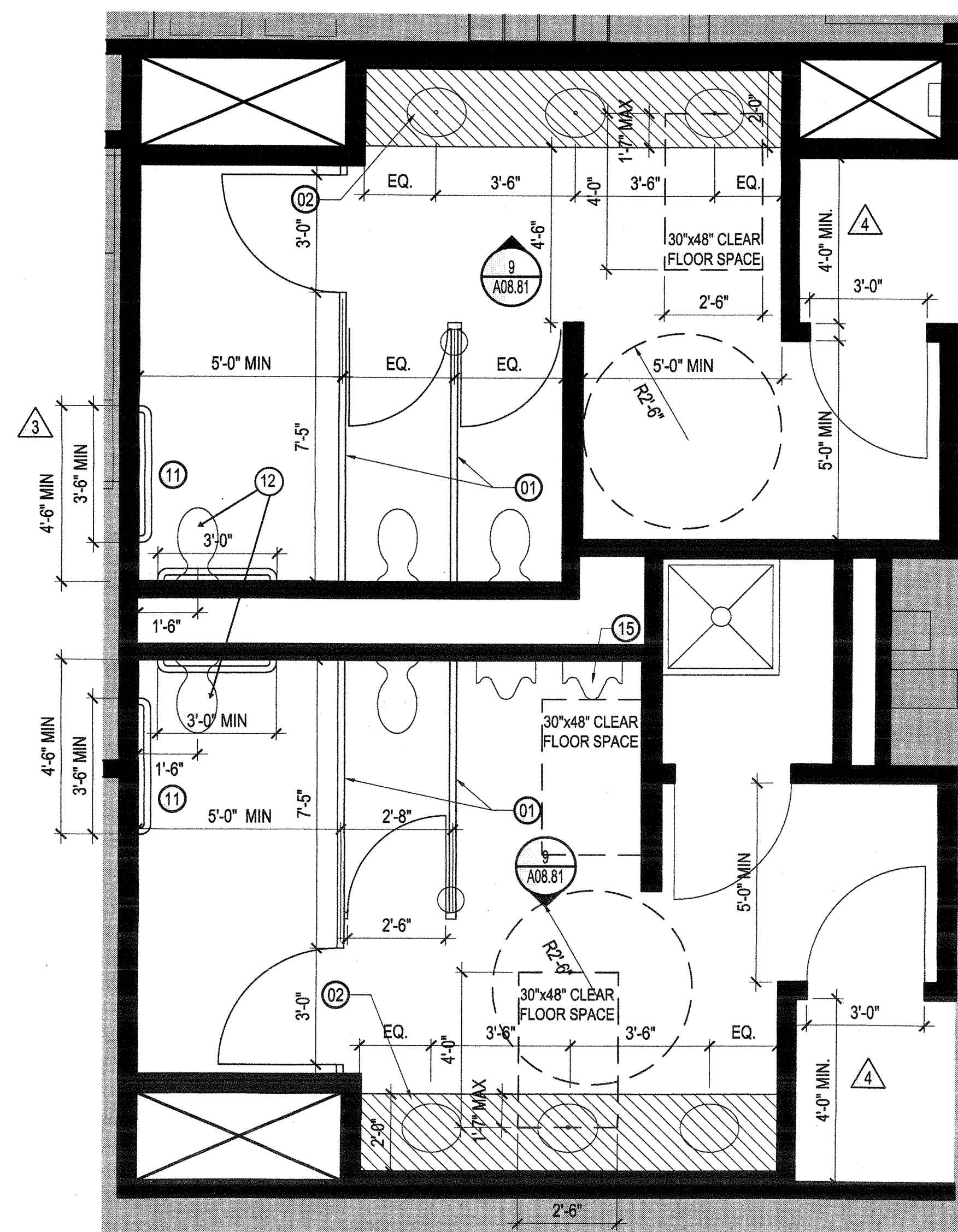




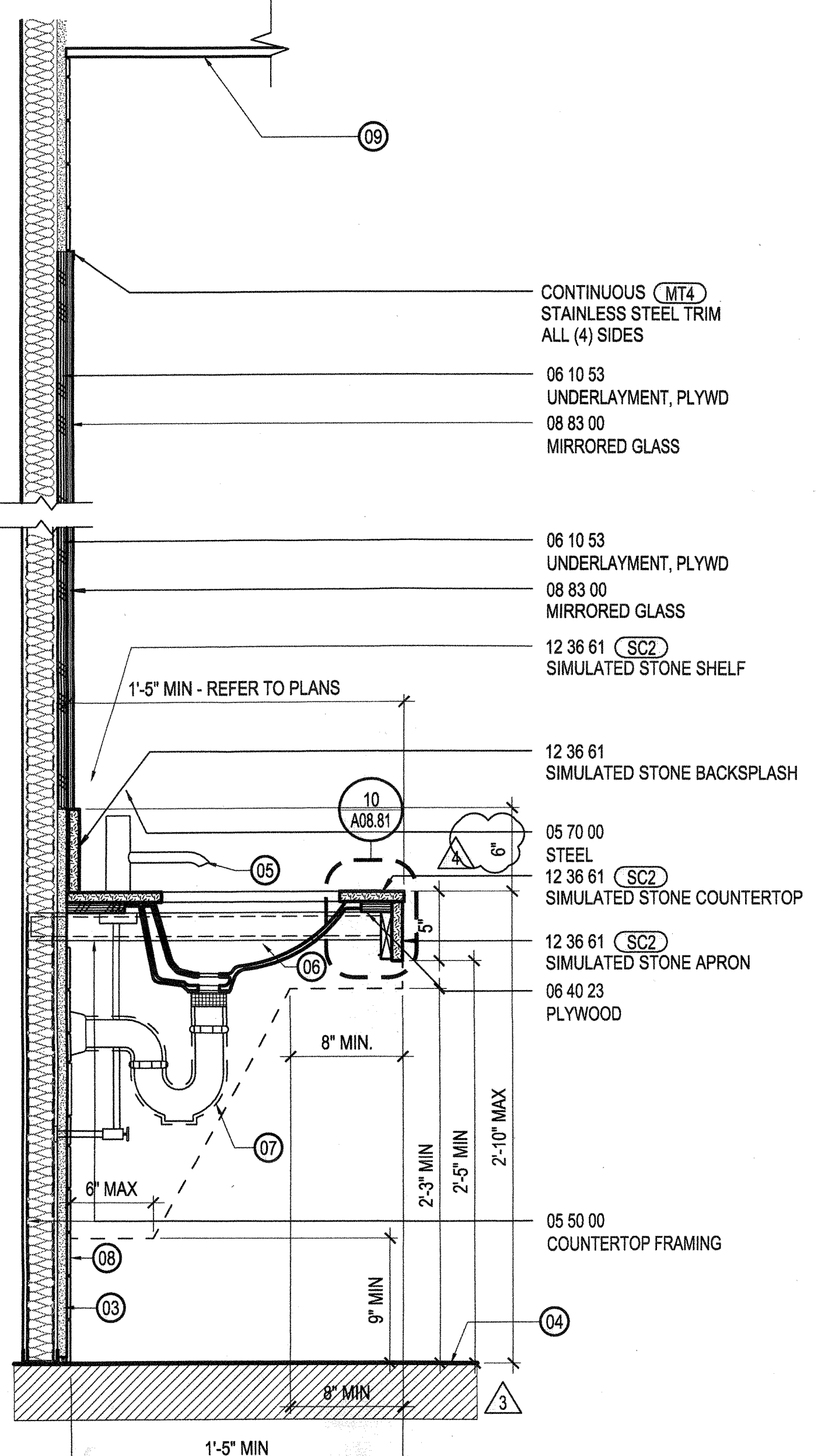
**TYPICAL RESTROOM ELEVATION 9**  
SCALE: 3/8" = 1'-0"



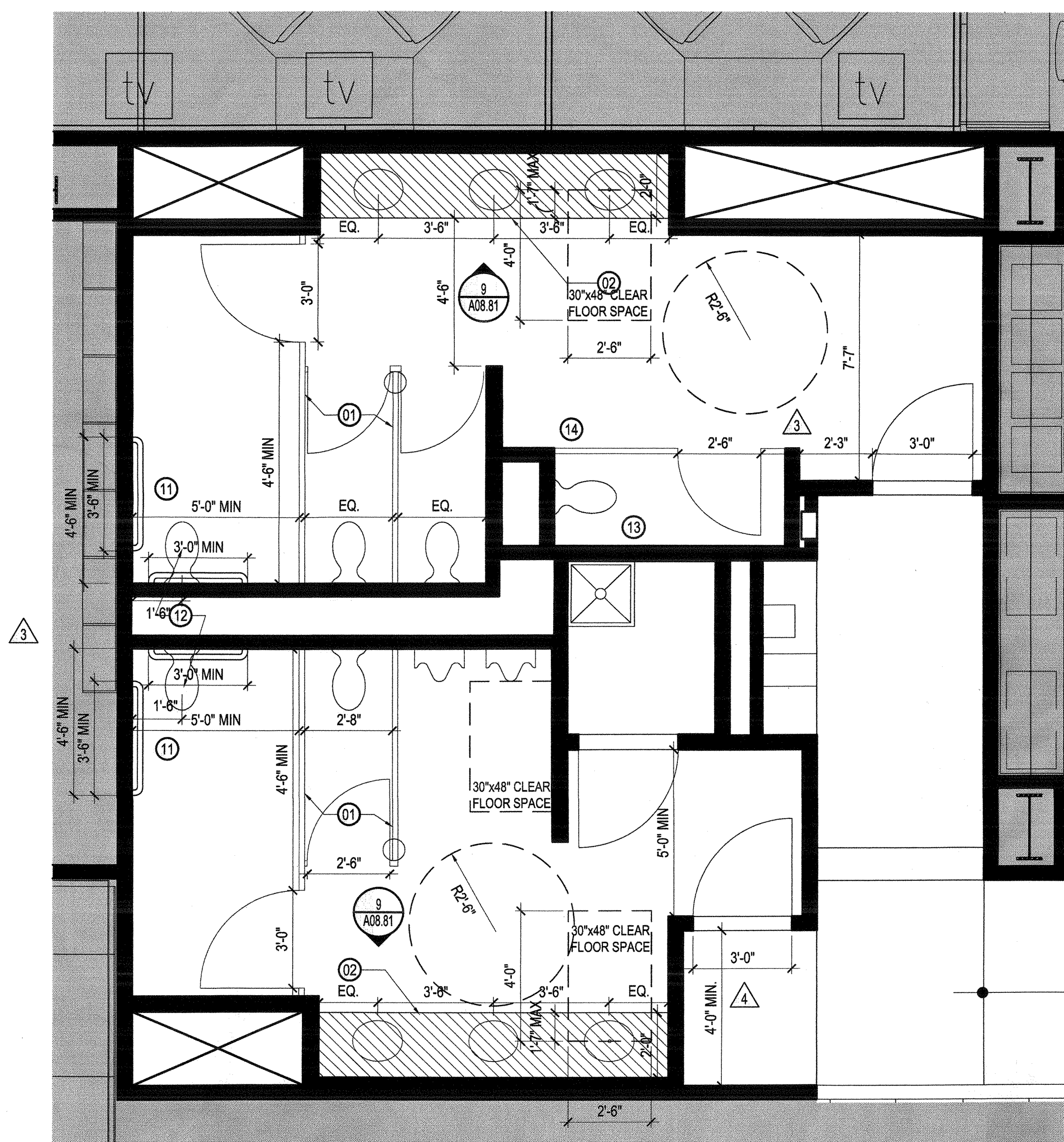
**LAVATORY COUNTER EDGE DETAIL 10**  
SCALE: 6" = 1'-0"



**GROUND FLOOR RESTROOM PLAN - NORTH 2**  
SCALE: 3/8" = 1'-0"



**LAVATORY COUNTER/MIRROR 12**  
SCALE: 1 1/2" = 1'-0"



**SECOND AND THIRD FLOOR RESTROOM PLAN - NORTH 4**  
SCALE: 3/8" = 1'-0"

**SHEET NOTES**

- (01) REMOVE AND REPLACE EXISTING PARTITIONS. SEE INTERIOR SPECIALTIES SCHEDULE FOR SPECIFICATION/FINISH.
- (02) REMOVE AND REPLACE EXISTING COUNTER, SINK & FAUCET.
- (03) SCHEDULED OR EXISTING PARTITION; REFER TO CONSTRUCTION PLAN FOR ADDITIONAL INFORMATION.
- (04) SCHEDULED OR EXISTING FINISH FLOOR; REFER TO FINISH PLAN.
- (05) SCHEDULED FAUCET SET; REFER TO ELEVATIONS AND PLUMBING SCHEDULE.
- (06) SCHEDULED SINK; REFER TO ELEVATIONS AND PLUMBING SCHEDULE.
- (07) PIPE INSULATION; REFER TO ENGINEERING DRAWINGS FOR SPECIFICATION.
- (08) EXISTING CERAMIC TILE.
- (09) EXISTING SUSPENDED CEILING.
- (10) NEW 42" HIGH URINAL-GREEN-
- (11) NEW GRAB BARS 2'-9" AFF.
- (12) RELOCATE (E) WALL HUNG TOILETS 16" TO 18" MAX.
- (13) (N) WALL HUNG WATER CLOSET 1.28G.
- (14) (N) TOILET PARTITION FLOOR TO CEILING MOUNT.
- (15) RELOCATE EXISTING URINAL HT. TO 17" MAX. A.F.F.

**GENERAL NOTES**

- 1. PATCH AND REPAIR WALL AND FLOOR TILE AS REQUIRED AFTER REMOVAL OF PARTITIONS AND COUNTER.
- 2. EXISTING CEILING AND LIGHT FIXTURES TO REMAIN. PATCH AS REQUIRED ANY DAMAGE DUE TO DEMOLITIONS.
- 3. EXISTING TOILET AND URINAL FIXTURES TO REMAIN.
- 4. ALL WOOD AND WOOD PRODUCTS TO BE FIRE RETARDANT TREATED PRODUCTS, WITH EXCEPTIONS PER CBC 603.1.



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3	03 10/05/12	ES/MC	SJ
REVISED FOR PLAN CHECK COMMENTS			
4	04 12/21/12	ES	SJ
PLAN CHECK			
6	05 02/21/13	ES	SJ
BULLETIN #4			
6	07 05/14/13	ES	SJ
BULLETIN #4			
6	08 05/14/13	ES	SJ
BULLETIN #6 REVISED FOR PLAN CHECK			

Seal/Signature

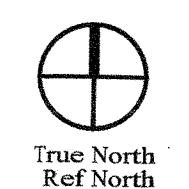
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VERIZON V.I.P.

Project Number  
06.8740.000  
CAD File Name

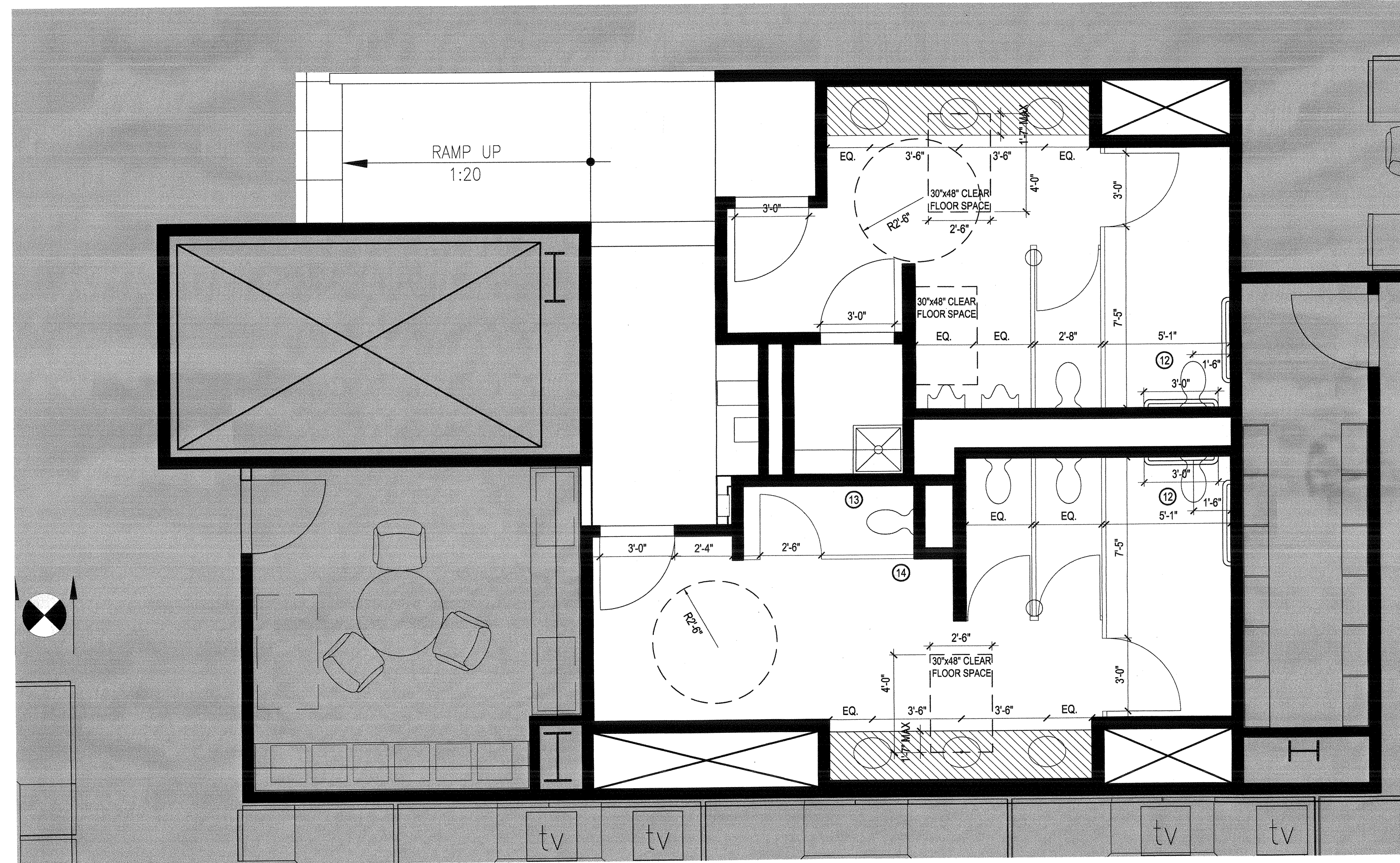
Description  
TYPICAL RESTROOM DETAILS

Scale

**A08.81\_SD**

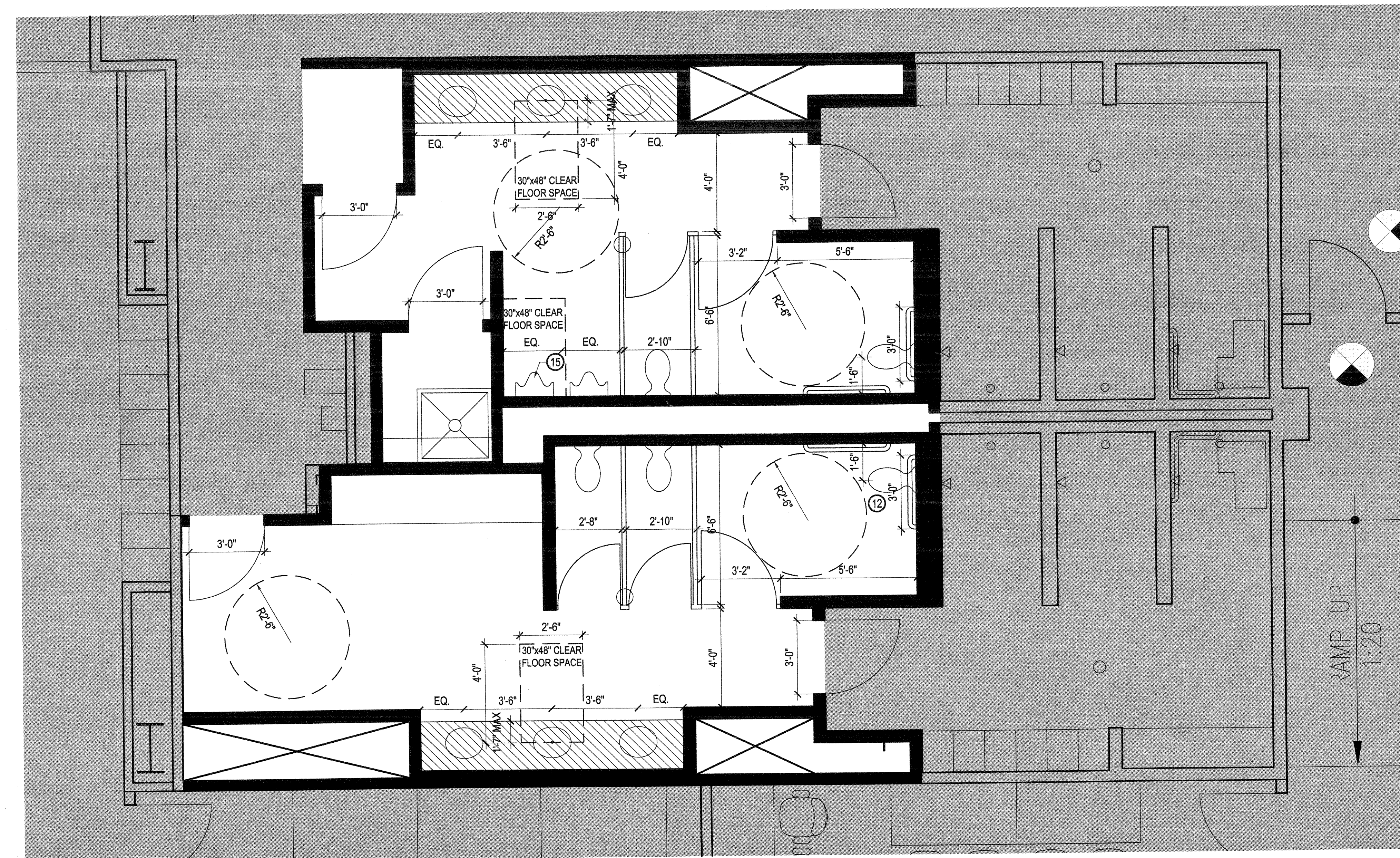


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**SECOND AND THIRD FLOOR RESTROOM PLAN - SOUTH**  
SCALE: 3/8" = 1'-0"

2




**GROUND FLOOR RESTROOM PLAN - SOUTH**  
SCALE: 3/8" = 1'-0"

4

**SHEET NOTES**


- 01 REMOVE AND REPLACE EXISTING PARTITIONS. SEE INTERIOR SPECIALTIES SCHEDULE FOR SPECIFICATION/FINISH.
- 02 REMOVE AND REPLACE EXISTING COUNTER, SINK & FAUCET.
- 03 SCHEDULED OR EXISTING PARTITION; REFER TO CONSTRUCTION PLAN FOR ADDITIONAL INFORMATION.
- 04 SCHEDULED OR EXISTING FINISH FLOOR; REFER TO FINISH PLAN.
- 05 SCHEDULED FAUCET SET; REFER TO ELEVATIONS AND PLUMBING SCHEDULE.
- 06 SCHEDULED SINK; REFER TO ELEVATIONS AND PLUMBING SCHEDULE.
- 07 PIPE INSULATION; REFER TO ENGINEERING DRAWINGS FOR SPECIFICATION.
- 08 EXISTING CERAMIC TILE.
- 09 EXISTING SUSPENDED CEILING.
- 10 NEW 42" HIGH URINAL SCREEN
- 11 NEW GRAB BARS 2'-3" AFF.
- 12 RELOCATE (E) WALL HUNG TOILETS 16" TO 18" MAX.
- 13 (N) WALL HUNG WATER CLOSET 1.28G.
- 14 (N) TOILET PARTITION FLOOR TO CEILING MOUNT.
- 14 RELOCATE EXISTING URINAL HT. TO 17" MAX. A.F.F.



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Fax: 310.473.7468

Issue	Date & Issue Description	By	Check
01	07/31/12	ES/MC	SJ
Issued for Plan Check			
1	08/10/12	ES/MC	SJ
ISSUED FOR CONSTRUCTION			
3	10/05/12	ES/MC	SJ
REVISED FOR PLAN CHECK COMMENTS			
4	12/21/12	ES	SJ
PLAN CHECK			
6	02/21/13	ES	SJ
BULLETIN #4			
6	05/14/13	ES	SJ
BULLETIN #6 REVISED FOR PLAN CHECK			

**GENERAL NOTES**

- 1. PATCH AND REPAIR WALL AND FLOOR TILE AS REQUIRED AFTER REMOVAL OF PARTITIONS AND COUNTER.
- 2. EXISTING CEILING AND LIGHT FIXTURES TO REMAIN. PATCH AS REQUIRED ANY DAMAGE DUE TO DEMOLITIONS.
- 3. EXISTING TOILET AND URINAL FIXTURES TO REMAIN.
- 4. ALL WOOD AND WOOD PRODUCTS TO BE FIRE RETARDANT TREATED PRODUCTS, WITH EXCEPTIONS PER CBC 603.1.

Seal/Signature



Project Name  
VERIZON V.I.P.

Project Number  
06.8740.000

CAD File Name

Description  
TYPICAL RESTROOM DETAILS

Scale

**A08.82\_SD**

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True North  
Ref North





ABBREVIATIONS

Table of abbreviations for various construction materials and components, including AC, A/E, ABAN, etc.

SYMBOLS (AS APPLICABLE)

Table of plumbing symbols for PIPING, VALVES, FIXTURES, EQUIPMENT, and ANNOTATION, including symbols for SAN, (E)SAN, SD, etc.

PLUMBING FIXTURE SCHEDULE table with columns for MARK NO., DESCRIPTION, LOCATION, MIN. ROUGH-IN CONN. (IN), F.U., MANUFACTURER AND MODEL NO., and REMARKS.

INSTANTANEOUS ELECTRIC WATER HEATER SCHEDULE table with columns for TAG, LOCATION, FLOW G.P.M., TEMP IN, TEMP OUT, POWER REQ KW, VOLTAGE, PHASE, MANUFACTURER AND MODEL NO., and REMARKS.

PIPE MATERIAL TABLE table with columns for SERVICE, PIPE, FITTINGS, and REMARKS.

GENERAL NOTES

- 1. ALL PLUMBING EQUIPMENT, INSTALLATION, ETC. SHALL COMPLY WITH 2010 CALIFORNIA PLUMBING CODE, BUILDING STANDARD AND ALL APPLICABLE CODES, AS INTERPRETED BY THE LOCAL AUTHORITIES HAVING JURISDICTION.

PLUMBING NOTES

- 1. SEE ARCHITECTURAL DRAWINGS FOR EXTENT OF DEMOLITION AND NEW CONSTRUCTION, AND EXACT PLUMBING FIXTURE LOCATIONS AND QUANTITIES NOTING ANY DISCREPANCY BETWEEN ARCHITECTURAL AND ENGINEERING DRAWINGS PRIOR TO PROCEEDING WITH THE WORK.

ENERGY COMMISSION NOTES

- 1. DOMESTIC WATER HEATERS SHALL BE CERTIFIED AND LISTED BY THE CALIFORNIA ENERGY COMMISSION.

FIRE PROTECTION NOTES

- 1. ALL FIRE PROTECTION WORK SHALL BE IN STRICT ACCORDANCE WITH THE CURRENT EDITION OF CALIFORNIA FIRE CODES, NFPA 13, 24, 72, 75, AND 101, CALIFORNIA BUILDING CODES AND ALL AUTHORITIES HAVING JURISDICTION.

SHEET INDEXES

Table of sheet indexes with columns for SHEET NO., DESCRIPTION, SCALE, and REMARKS.

Verizon logo and address information: 1800 Solar Drive, Oxnard, CA 93000.

Gensler logo and address information: 1230 Avenue of the Americas, Suite 1500, New York, NY 10020.

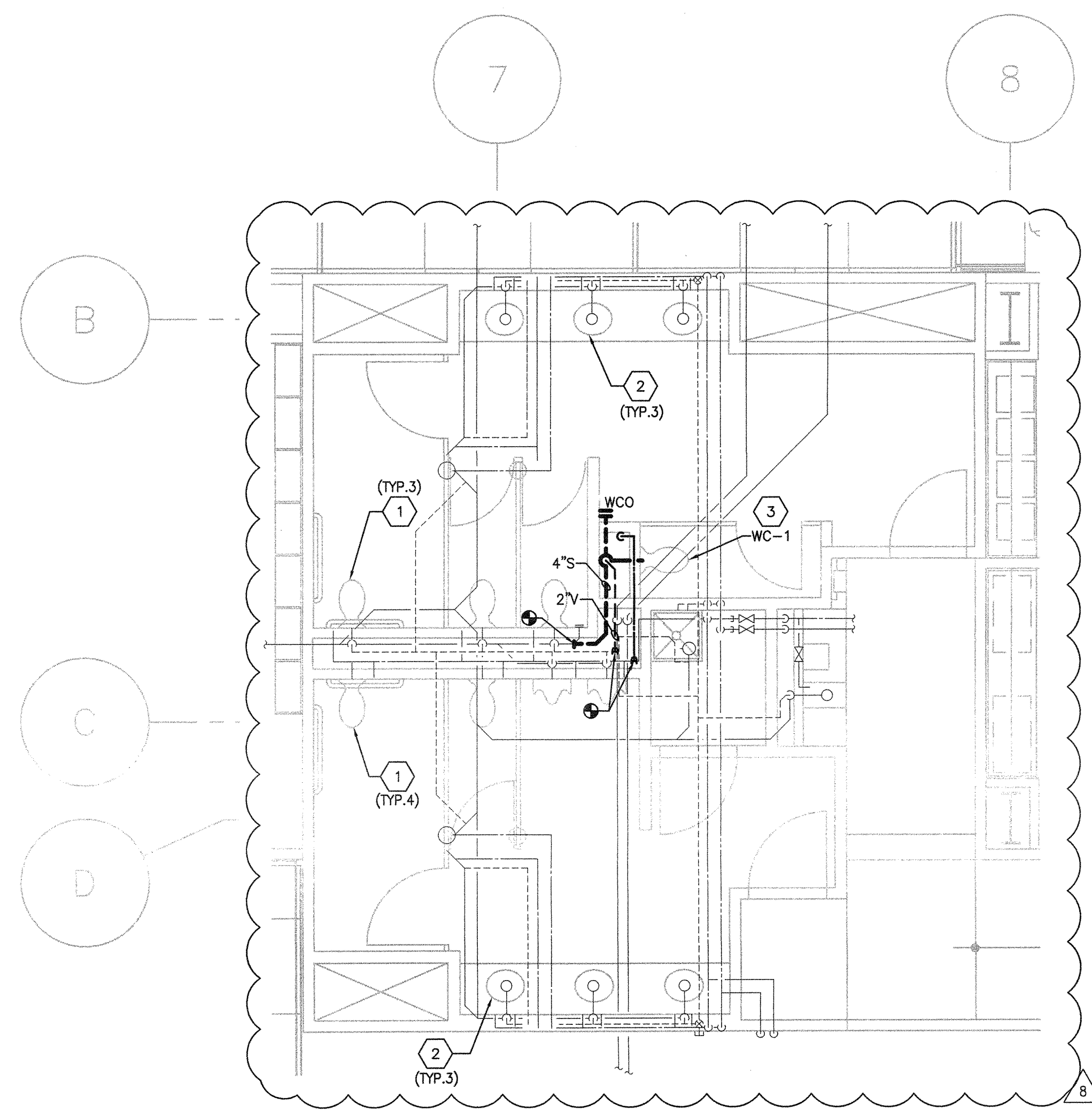
Syska Hennessy Group logo and address information: Syska Hennessy Group, Inc., 800 Corporate Pointe, Suite 200, Culver City, CA 90230.

Revision table with columns for Issue, Date & Issue Description, By, and Check.

Professional Engineer seal for James L. Smith, No. M-33716, State of California, dated 07/28/13.

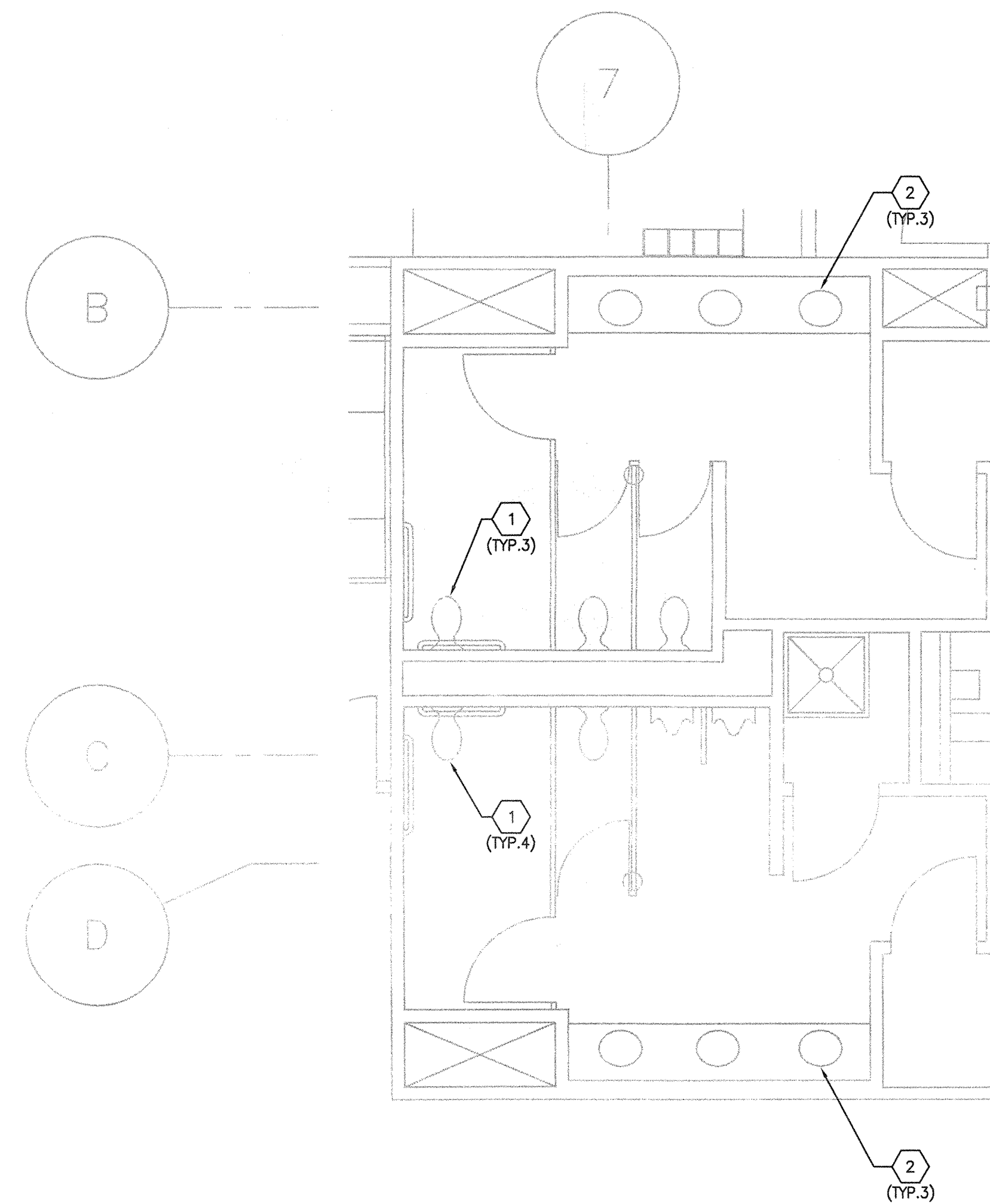
Project information for VERIZON V.I.P. including Project Name, Project Number (VZCOX000), CAD File Name, and Description (PLUMBING SYMBOLS, ABBREVIATIONS AND GENERAL NOTES).

Vertical text on the left margin: The corner tick marks represent the 30" x 48" plot area.



2ND & 3RD FLOOR NORTH RESTROOM ENLARGED PLUMBING PLAN

3



1ST FLOOR NORTH RESTROOM ENLARGED PLUMBING PLAN

SHEET NOTES

1. (E) WATER CLOSET/(E) URINAL TO REMAIN.
2. REPLACE (E) LAV WITH (N) LAV, L-1. RECONNECT (E) WASTE LINE TO (N) LAV AND RECONNECT (E) CW AND (E) HW TO (N) LAV.
3. PROVIDE (N) WC, WC-1. EXTEND (N) SAN, VENT AND CW LINES FROM (E) SAN, VENT AND CW LINES AND CONNECT TO (N) WC AS INDICATED.



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Fax: 310.473.7488  
www.syska.com

Issue	Date & Issue Description	By	Check
01	07/31/12 PLAN CHECK		
1	08/10/12 ISSUE FOR CONSTRUCTION		
2	09/12/12 BULLETIN 1		
3	10/08/12 BULLETIN 2		
4	10/23/2012 REVISED FOR PLAN CHECK		
5	11/18/12 BULLETIN 3		
6	02/21/13 BULLETIN 4		
7	03/18/2013 BULLETIN 5		
8	05/01/13 BULLETIN 6		

GENERAL NOTES

1. WALL, FLOOR, AND CEILING DEVICES SHOWN FOR QUANTITY AND APPROXIMATE LOCATION ONLY. EXACT LOCATION SHALL BE PER ARCHITECTURAL DRAWINGS OR AS DIRECTED BY ARCHITECT IN THE FIELD.

Seal/Signature

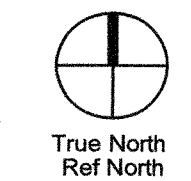


Project Name  
VERIZON V.I.P.

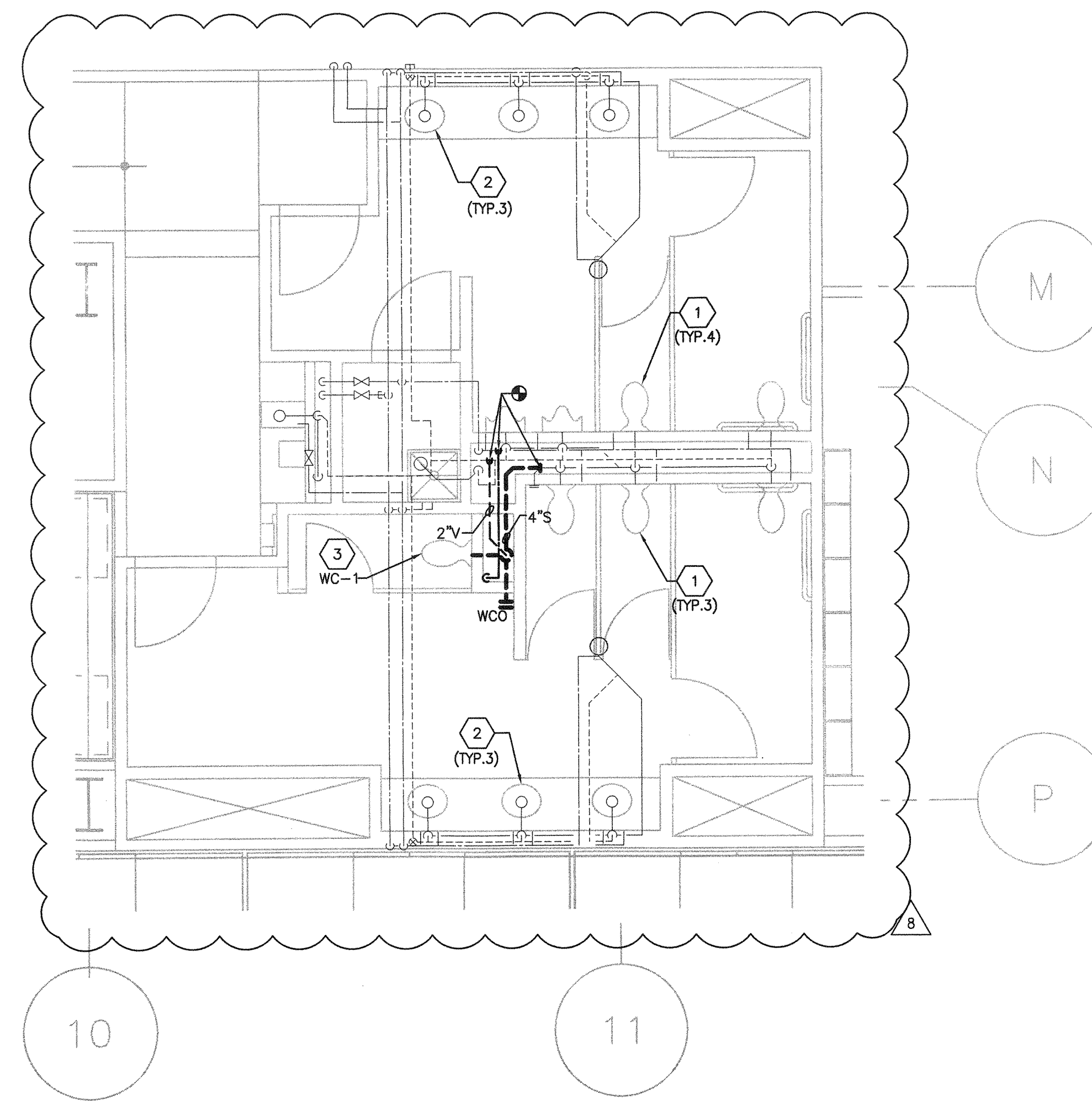
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VZCOX000  
CAD File Name  
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Description  
RESTROOMS ENLARGED PLAN

Scale  
1/4" = 1'-0"

**P-401**

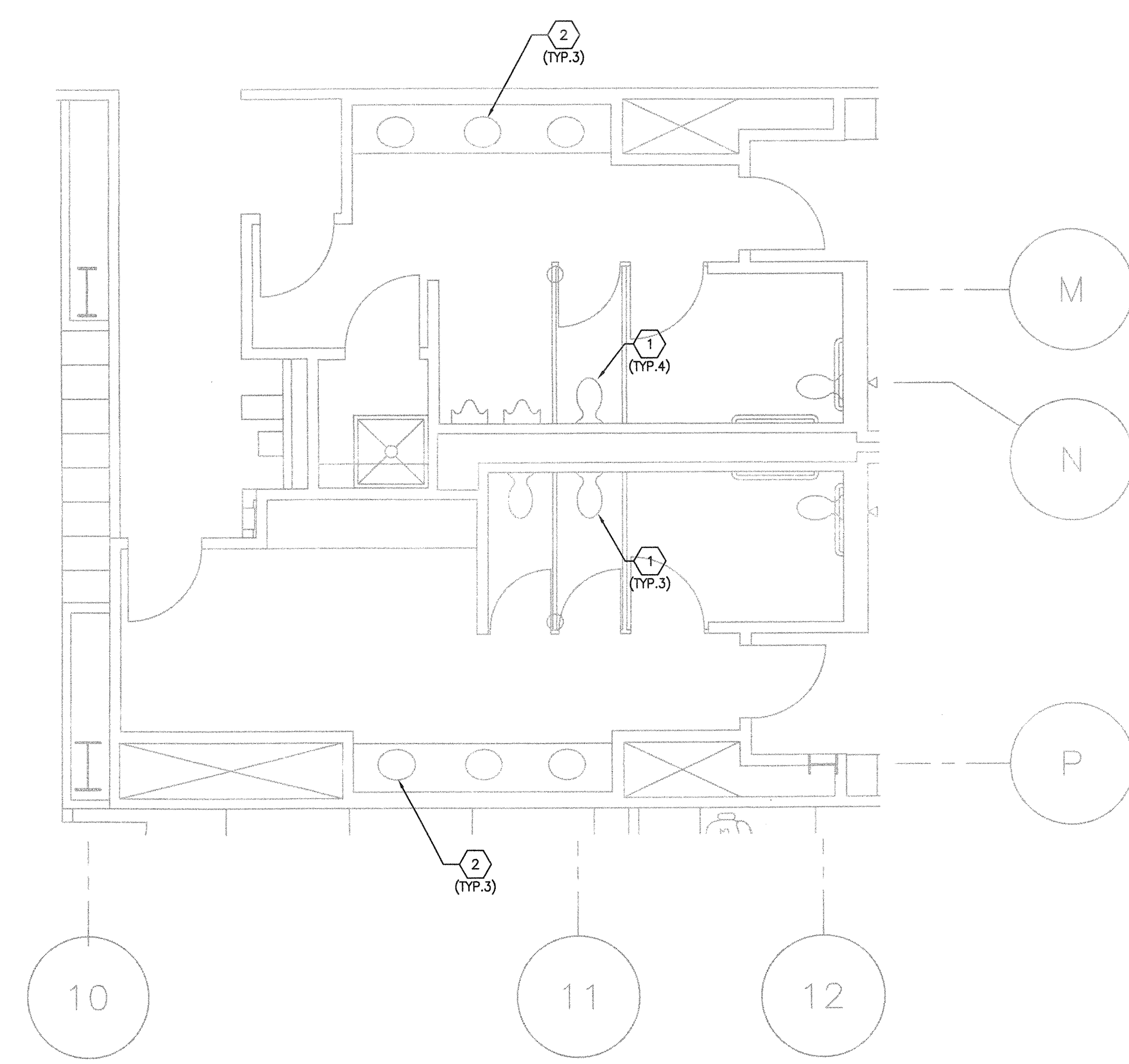


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2ND & 3RD FLOOR SOUTH RESTROOM ENLARGED PLUMBING PLAN

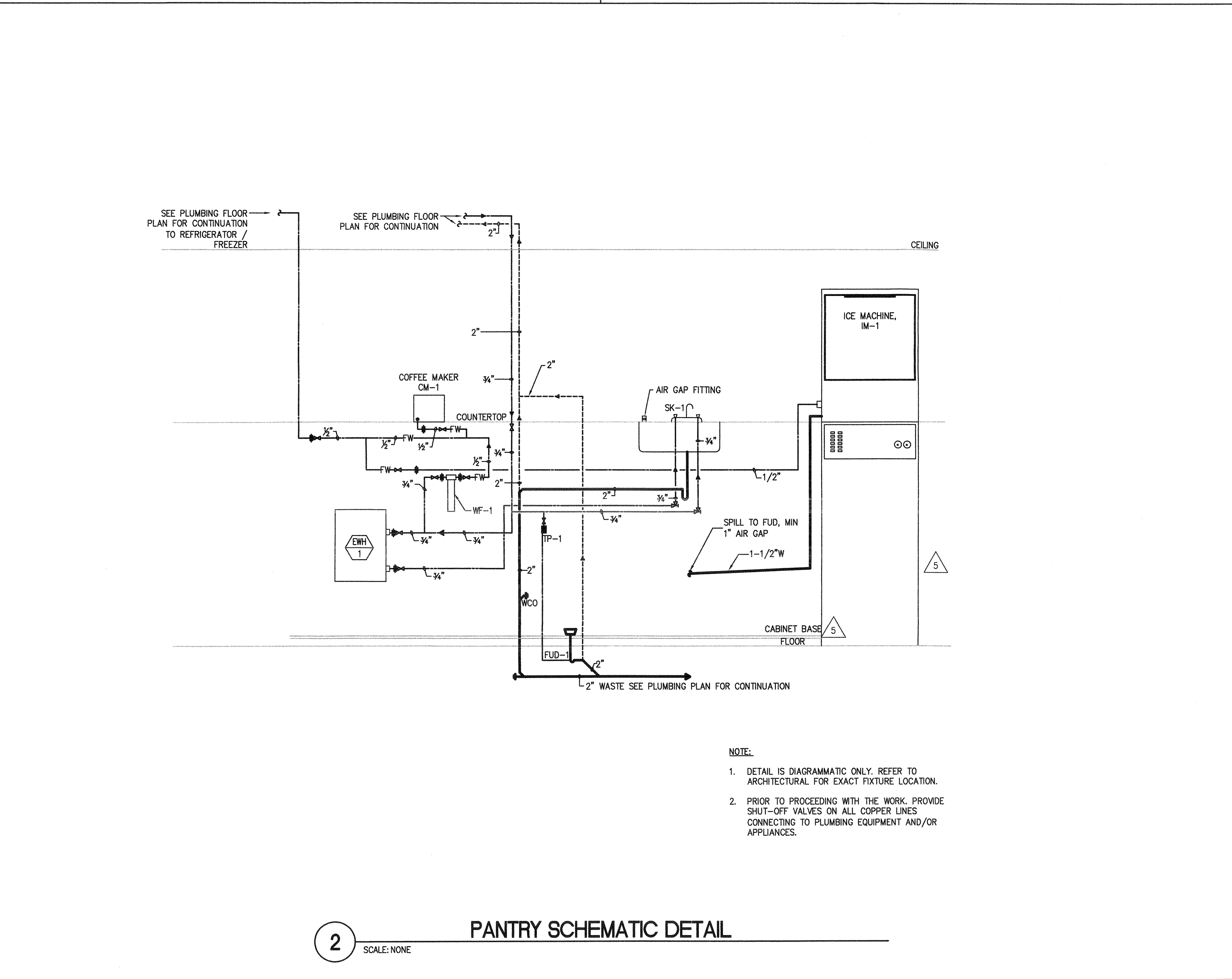
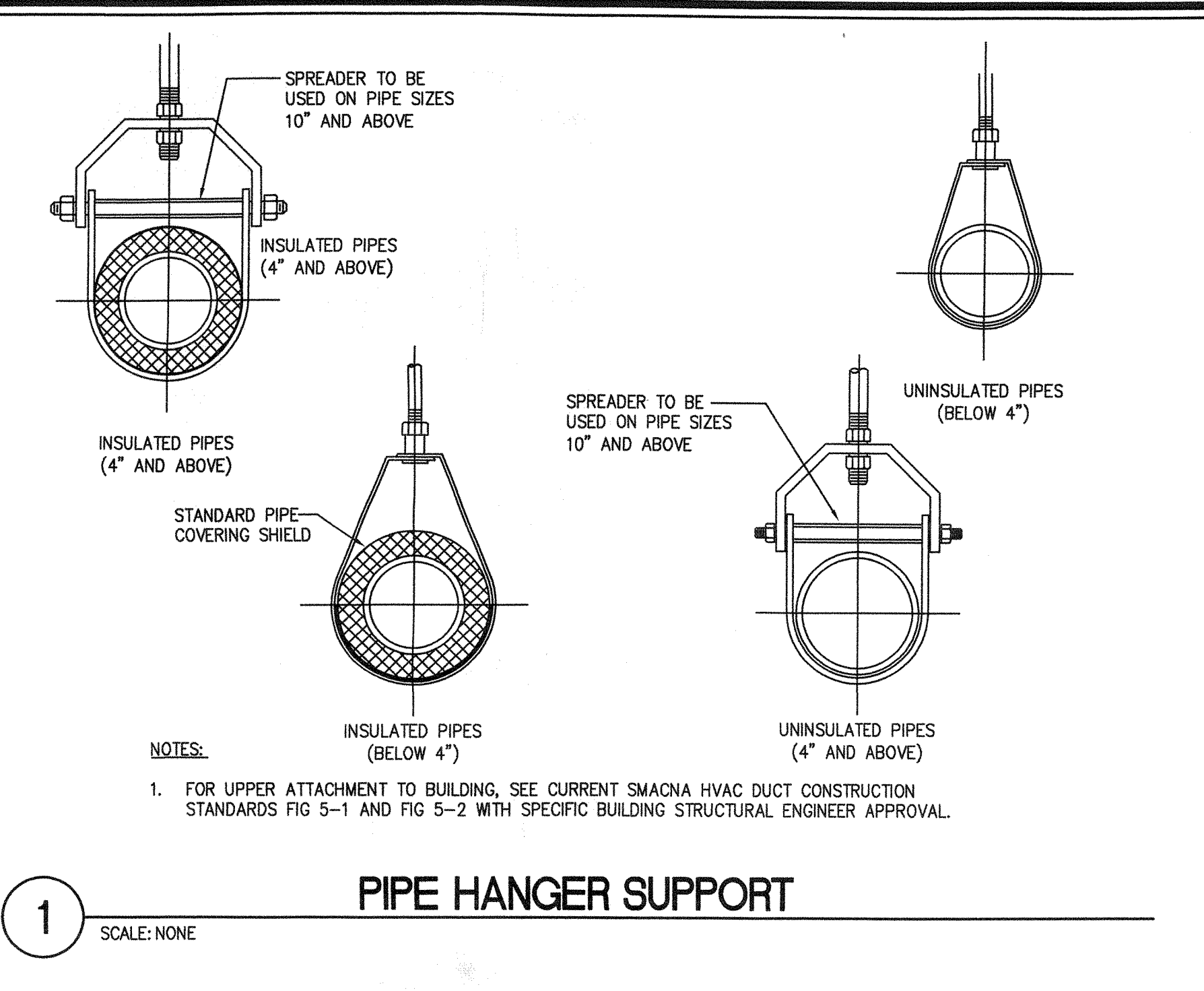
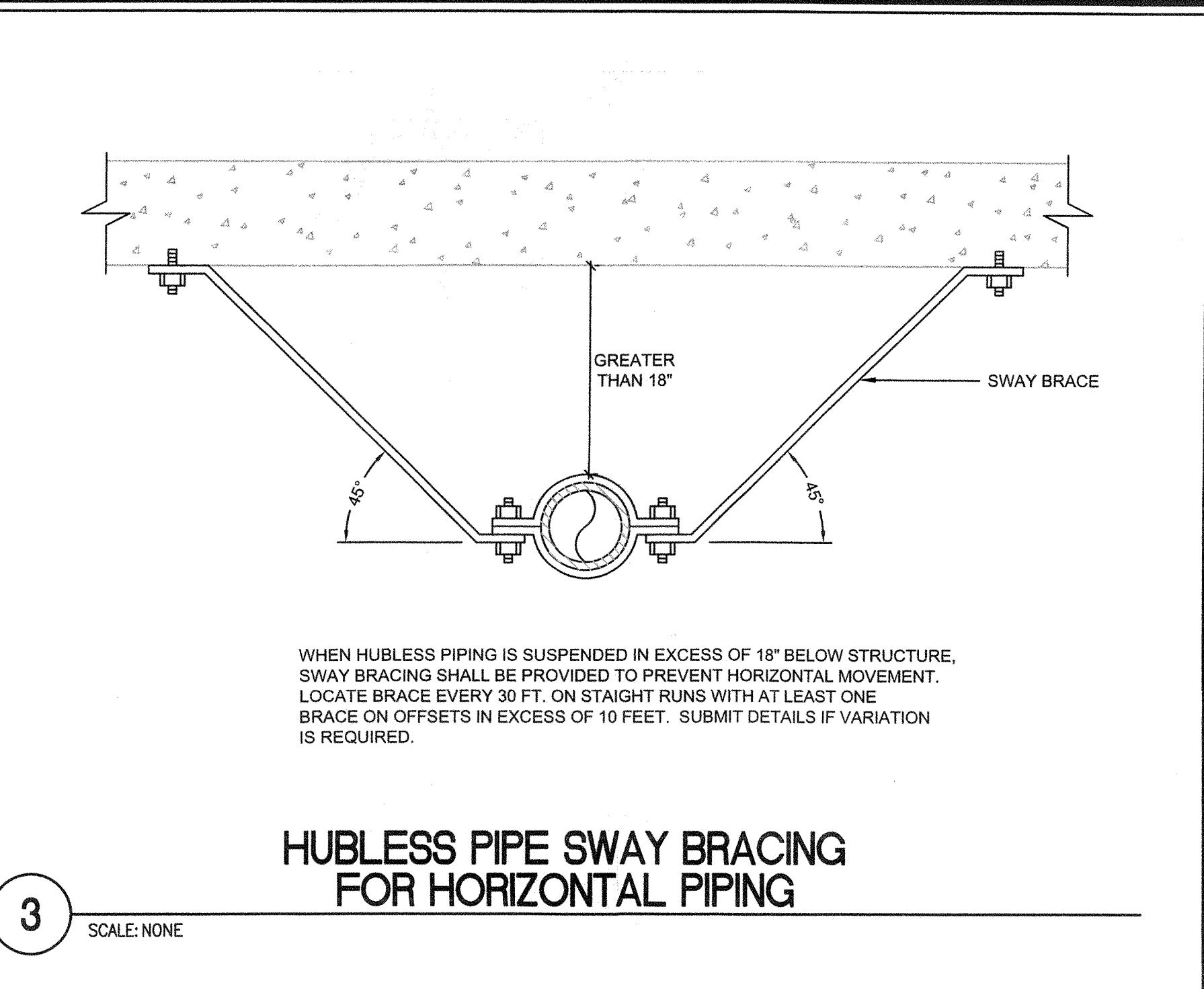
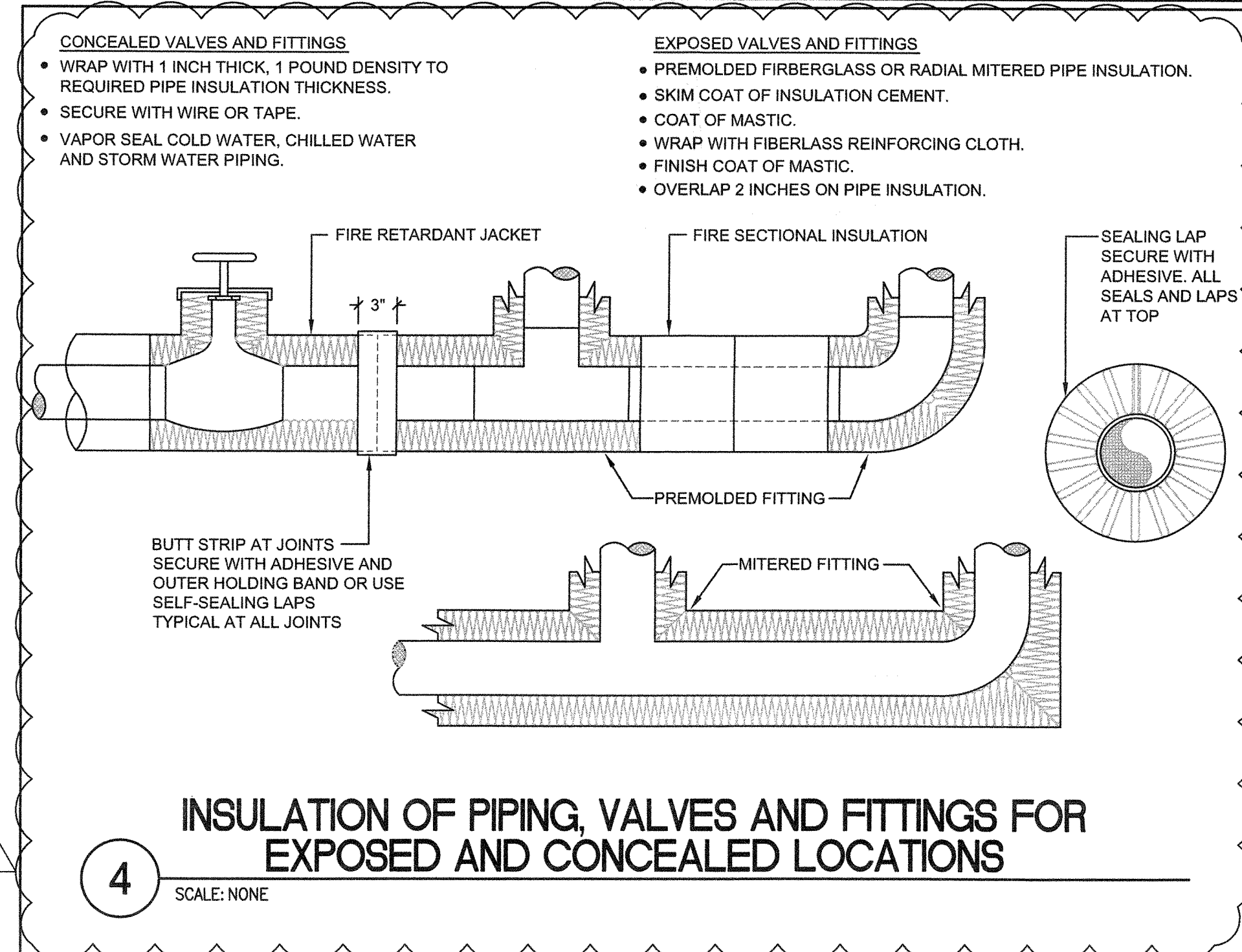
4



1ST FLOOR SOUTH RESTROOM ENLARGED PLUMBING PLAN

2

The corner tick marks represent the 30"x48" plot area.



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Issue	Date & Issue Description	By	Check
01	07/21/12 PLAN CHECK	-	-
1	08/10/12 ISSUE FOR CONSTRUCTION	-	-
2	09/12/12 BULLETIN 1	-	-
3	10/09/12 BULLETIN 2	-	-
4	10/23/2012 REVISED FOR PLAN CHECK	-	-
5	11/15/12 BULLETIN 3	-	-
6	02/21/13 BULLETIN 4	-	-
7	03/19/2013 BULLETIN 5	-	-
8	05/01/13 BULLETIN 6	-	-

Seal/Signature \_\_\_\_\_



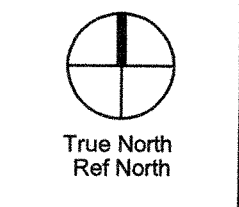
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VERIZON V.I.P.

Project Number  
VZCOX000  
CAD File Name  
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Description  
PLUMBING DETAILS

Scale  
NONE

**P-501**

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The corner tick marks represent the 30" x 48" plot area.



MANDATORY MEASURES

- CERTIFICATION OF EQUIPMENT EFFICIENCY (§110 AND §111)
1. ANY APPLIANCE FOR WHICH THERE IS A CALIFORNIA STANDARD ESTABLISHED IN THE APPLIANCE EFFICIENCY REGULATIONS MAY BE INSTALLED ONLY IF THE MANUFACTURER HAS CERTIFIED TO THE COMMISSION, AS SPECIFIED IN THOSE REGULATIONS, THAT THE APPLIANCE COMPLES WITH THE APPLICABLE STANDARD FOR THAT APPLIANCE.
  2. CERTIFICATION BY MANUFACTURERS, ANY SERVICE WATER-HEATING SYSTEM OR EQUIPMENT MAY BE INSTALLED ONLY IF THE MANUFACTURER HAS CERTIFIED THAT THE SYSTEM OR EQUIPMENT COMPLES WITH ALL OF THE REQUIREMENTS OF THIS SUBSECTION FOR THAT SYSTEM OR EQUIPMENT.
- VENTILATION (§121)
3. ALL ENCLOSED SPACES IN A BUILDING THAT ARE NORMALLY USED BY HUMANS SHALL BE VENTILATED IN ACCORDANCE WITH THE REQUIREMENTS OF THIS SECTION AND THE CBC.
  4. THE OUTDOOR AIR-VENTILATION RATE AND AIR-DISTRIBUTION ASSUMPTIONS MADE IN THE DESIGN OF THE VENTILATING SYSTEM SHALL BE CLEARLY IDENTIFIED ON THE BUILDING PLANS REQUIRED BY §10-103 OF TITLE 24, PART 1.
- CONTROLS (§122)
5. CRITERIA FOR ZONAL THERMOSTATIC CONTROLS, THE INDIVIDUAL THERMOSTATIC CONTROLS REQUIRED BY SECTION 122(A) SHALL MEET REQUIREMENTS; FOR HEATING SHALL BE CAPABLE OF BEING SET, LOCALLY OR REMOTELY, DOWN TO 55°F OR LOWER, OR FOR COOLING IT SHALL BE CAPABLE OF BEING SET, LOCALLY OR REMOTELY, UP TO 85°F OR HIGHER.
- PIPE INSULATION (§123)
6. THE PIPING FOR ALL SPACE-CONDITIONING AND SERVICE WATER-HEATING SYSTEMS WITH FLUID TEMPERATURES LISTED IN TABLE 123-A SHALL INSTALL THE AMOUNT OF INSULATION SPECIFIED.
- DUCT CONSTRUCTION AND INSULATION (§124)
7. ALL AIR DISTRIBUTION SYSTEM DUCTS AND PLENUMS, INCLUDING, BUT NOT LIMITED TO, BUILDING CAVITIES, MECHANICAL CLOSETS, AIR-HANDLER BOXES AND SUPPORT PLATFORMS USED AS DUCTS OR PLENUMS, SHALL BE INSTALLED, SEALED AND INSULATED TO MEET THE REQUIREMENTS OF THE 2010 CMC SECTIONS 601, 602, 603, 604, 605, AND STANDARD 6-5. ACCEPTANCE TESTS (§125 AND REFERENCE NONRESIDENTIAL APPENDIX NA7).

**CERTIFICATE OF COMPLIANCE and FIELD INSPECTION ENERGY CHECKLIST** (Part 1 of 5) **MECH-1C**

Project Name: VERIZON'S TENANT IMPROVEMENT Date: 11/15/2012 Climate Zone: 9  
 1800 SOLAR DRIVE, OXNARD, CA Conditioned Floor Area: 13800 SQFT

General Information  
 Building Type:  Nonresidential  High-Rise Residential  Hotel/Motel Guest Room  
 Schools (Public School)  Relocatable Public School Bldg.  Conditioned Spaces  Unconditioned Spaces

Phase of Construction:  New Construction  Addition  Alteration  
 Approach of Compliance:  Component  Overall Envelope TDV Energy  Unconditioned (file alternate)

Front Orientation: N, E, S, W or in Degrees: NE

HVAC SYSTEM DETAILS		FIELD INSPECTION ENERGY CHECKLIST			
Equipment <sup>2</sup>	Inspection Criteria	Special Features <sup>3</sup>	Pass	Fail - Describe Reason <sup>4</sup>	
Items or System Tags (i.e. AC-1, RTU-1, HP-1)	VAV BOXES				
Equipment Type <sup>1</sup> :	VAV				
No. of Systems	17				
Max. Allowed Heating Capacity	N/A				
Minimum Heating Efficiency	N/A				
Max. Allowed Cooling Capacity	N/A				
Cooling Efficiency	N/A				
Duct Location/R-Value	M-103, R-4.2				
Duct Leakage Testing - If Yes, a MECH-4A must be submitted	N/A				
Economizer	N/A				
Thermostat	SETBACK				
Fan control	N/A				

2008 Nonresidential Compliance Forms August 2008

**CERTIFICATE OF COMPLIANCE and FIELD INSPECTION ENERGY CHECKLIST** (Part 3 of 5) **MECH-1C**

Project Name: VERIZON'S TENANT IMPROVEMENT Date: 11/15/2012

Required Acceptance Tests  
 Designer: This form is to be used by the designer and attached to the plans. Listed below are all the acceptance tests for mechanical systems. The designer is required to check the applicable boxes by all acceptance tests that apply and list all equipment that requires an acceptance test. If all equipment of a certain type requires a test, list the equipment description and the number of systems. The NA number designates the Section in the Appendix of the Nonresidential Reference Appendices Manual that describes the test. Since this form will be part of the plans, completion of this section will allow the responsible party to budget for the scope of work appropriately.

Enforcement Agency: Systems Acceptance. Before occupancy permit is granted for a newly constructed building or space, or a new space-conditioning system serving a building or space is operated for normal use, an approval device serving the building or space shall be certified as meeting the Acceptance Requirements for Code Compliance. Systems Acceptance. Before occupancy permit is granted. All newly installed HVAC equipment must be tested using the Acceptance Requirements.

The MECH-1C form is not considered a completed form and is not to be accepted by the building department unless the correct boxes are checked. The equipment requiring testing, person performing the test (Examples: HVAC Installer, TAB contractor, controls contractor, PIE in charge of project) and what Acceptance test must be conducted. The following check-off forms are required for ALL newly installed equipment. In addition a Certificate of Acceptance form shall be submitted to the building department that certifies plans, specifications, installation certificates, and operating and maintenance information meet the requirements of §10-103(b) and Title 24 Part 6. The building inspector must receive the properly filled out and signed forms before the building can receive final occupancy.

Test Description	MECH-2A	MECH-3A	MECH-4A	MECH-5A	MECH-6A	MECH-7A	MECH-8A	MECH-9A	MECH-10A	MECH-11A	
Equipment Requiring Testing or Verification	# of Units	Outdoor Ventilation for VAV & CAV	Constant Volume & Single-Zone Unitary	Air Distribution Controls	Economizer Controls	Demand Control Ventilation DCV	Supply Fan VAV	Valve Leakage Test	Supply Water Temp. Reset	Hydronic System Variable Flow Control	Automatic Demand Shed Control
VAV BOXES	17										
FP BOXES	9										
AC UNITS	3										

2008 Nonresidential Compliance Forms August 2008

**CERTIFICATE OF COMPLIANCE and FIELD INSPECTION ENERGY CHECKLIST** (Part 5 of 5) **MECH-1C**

Project Name: VERIZON'S TENANT IMPROVEMENT Date: 11/15/2012

Documentation Author's Declaration Statement  
 I certify that this Certificate of Compliance documentation is accurate and complete.

Name: ANGELICA KARRHELAN Signature:  
 Company: SYSKA HENNESSY GROUP INC. Date: 11/15/2012  
 800 CORPORATE POINTE, SUITE 200 Culver City, Ca. 90230 License # M33728  
 City/State/Zip: CULVER CITY, CA 90230 Phone: (310) 312-0200

Principal Mechanical Designer's Declaration Statement  
 I am eligible under Division 3 of the California Business and Professions Code to accept responsibility for the mechanical design.  
 This Certificate of Compliance identifies the mechanical features and performance specifications required for compliance with Title 24, Parts 1 and 6 of the California Code of Regulations.  
 The design features represented on this Certificate of Compliance are consistent with the information provided to document this design on the other applicable compliance forms, worksheets, calculations, plans and specifications submitted to the enforcement agency for approval with this building permit application.

Name: HAMISH LUST Signature:  
 Company: SYSKA HENNESSY GROUP INC. Date: 11/15/2012  
 800 CORPORATE POINTE, SUITE 200 Culver City, Ca. 90230 License # M33728  
 City/State/Zip: CULVER CITY, CA 90230 Phone: (310) 312-0200

Mandatory Measures  
 Indicate location on building plans of Note Block for Mandatory Measures M-003

MECHANICAL COMPLIANCE FORMS & WORKSHEETS (check box if worksheet is included)  
 MECH-1C Certificate of Compliance. Required on plans for all submittals.  
 MECH-3C Mechanical Equipment Summary is required for all submittals with mechanical ventilation.  
 MECH-3C Mechanical Ventilation and Rehabil is required for all submittals with mechanical ventilation.  
 MECH-4C Fan Power Consumption is required when for all prescriptive submittals.

2008 Nonresidential Compliance Forms August 2008

**CERTIFICATE OF COMPLIANCE and FIELD INSPECTION ENERGY CHECKLIST** (Part 4 of 5) **MECH-1C**

Project Name: VERIZON'S TENANT IMPROVEMENT Date: 11/15/2012

Test Description	MECH-12A	MECH-13A	MECH-14A	MECH-15A	Test Performed By:
Equipment Requiring Testing or Verification	# of Units	Automatic Fault Detection & Diagnostics for DX Units	Distributed Energy Storage (DES) Systems	Thermal Energy Storage (TES) Systems	
VAV BOXES	17				
FP BOXES	9				
AC UNITS	3				

2008 Nonresidential Compliance Forms August 2008

**AIR SYSTEM REQUIREMENTS** (Part 1 of 3) **MECH-2C**

Project Name: VERIZON'S TENANT IMPROVEMENT Date: 11/15/2012

Indicate Air Systems Type (Central, Single Zone, Package, VAV or etc...)

Item or System Tags (i.e. AC-1, RTU-1, HP-1)	VAV BOXES	FP BOXES	AC UNITS
No. of Systems	17	9	3

Indicate Page Reference on the Plans or Schedule list or list information below.

**MANDATORY MEASURES**

Y-24 Sections				
Heating Equipment Efficiency	112(a)	N/A	N/A	N/A
Cooling Equipment Efficiency	112(a)	N/A	N/A	N/A
HVAC or Heat Pump Thermostats	112(b), 112(c)	N/A	N/A	M-401
Furnace Controls/Thermostat	112(b), 115(a)	N/A	N/A	N/A
Natural Ventilation	121(b)	N/A	N/A	N/A
Mechanical Ventilation	121(b)	M-003	M-003	(E) M-401
VAV Minimum Position Control	121(c)	M-701	M-701	N/A
Demand Control Ventilation	121(c)	N/A	N/A	N/A
Time Control	122(a)	N/A	N/A	N/A
Setback and Setup Control	122(a)	N/A	N/A	N/A
Outdoor Damper Control	122(b)	N/A	N/A	N/A
Isolation Zones	122(g)	N/A	N/A	N/A
Pipe Insulation	123	M-003	M-003	M-003
Duct Insulation	124	M-003	M-003	N/A

**PRESCRIPTIVE MEASURES**

144(a) & (b)			
Calculated Design Heating Load	144(a) & (b)	N/A	N/A
Calculated Design Cooling Load	144(c)	N/A	N/A
Fan Control	144(c)	N/A	CONSTANT
DP Sensor Location	144(c)	N/A	N/A
Supply Pressure Reset (DDC only)	144(c)	N/A	N/A
Simultaneous Heat/Cool	144(d)	N/A	N/A
Economizer	144(e)	N/A	N/A
Heat and Cool Air Supply Reset	144(f)	N/A	N/A
Electric Resistance Heating	144(g)	N/A	N/A
Heat Rejection System	144(h)	N/A	N/A
Air Cooled Chiller Limitation	144(i)	N/A	N/A
Duct Leakage Sealing. If Yes, a MECH-4A must be submitted	144(j)	N/A	N/A

1. Total resistor capacity (WBR/H) of all electric heat on this project exclusive of electric auxiliary heat for heat pumps. If electric heat is used explain which exception(s) to §144(j) apply.

2008 Nonresidential Compliance Forms August 2008

**MECHANICAL VENTILATION AND REHEAT** **MECH-3C**

PROJECT NAME: VERIZON TENANT IMPROVEMENT DATE: 11/15/2012

Zone/ System	MECHANICAL VENTILATION (§121(b)(2)) <sup>1</sup>								REHEAT LIMITATION (§144(d)) <sup>2</sup>						
	A	B	C	D	E	F	G	H	J	K	L	M	N		
	Condition Area (ft <sup>2</sup> )	CFM per (ft <sup>2</sup> )	Min CFM by Area B x C	Num of People	CFM per Person	Min CFM by Occupant E x F	REQ'D V.A. Max of D or G	Design Ventilation Air cfm	50% of Design Zone Supply	B x 0.4 cfm/ft <sup>2</sup>	Max of Columns H, J, K, or 300 cfm	Design minimum Air setpoint	Transfer Air		
FRB-1-1	480	0.15	72	31	15	465	465	500	500	240	530	500			
FRB-1-2	480	0.15	72	13	15	195	195	200	200	168	490	200			
FRB-1-3	480	0.15	72	13	15	195	195	200	200	168	490	200			
VAV-1-24	430	0.15	64.5	1	15	62	250	400	164	300	240				
FRB-2-1	480	0.15	72	6	15	90	350	400	160	400	400				
FRB-2-2	480	0.15	72	2	15	30	350	400	160	400	400				
FRB-2-3	480	0.15	72	19	15	285	350	400	160	400	400				
VAV-2-7	285	0.15	42.75	4	15	60	300	300	110	350	310				
VAV-2-8	285	0.15	42.75	16	15	240	200	200	100	200	300				
VAV-2-9	285	0.15	42.75	13	15	195	195	300	100	200	300				
VAV-2-26	500	0.15	75	8	15	120	100	400	180	400	285				
VAV-2-27	500	0.15	75	2	15	30	120	100	180	225	190				
VAV-2-28	500	0.15	75	4	15	60	120	100	180	225	190				
VAV-2-29	500	0.15	75	8	15	120	120	100	180	225	190				
FRB-3-1	480	0.15	72	8	15	120	100	385	440	180	440	440			
FRB-3-2	480	0.15	72	2	15	30	450	200	450	252	490	290			
FRB-3-3	480	0.15	72	19	15	285	285	480	480	192	490	480			
FRB-3-4	480	0.15	72	10	15	150	150	480	480	192	490	290			
VAV-3-4	390	0.15	58.5	10	15	150	180	380	460	180	460	460			
VAV-3-5	390	0.15	58.5	8	15	120	120	380	460	200	460	290			
VAV-3-22	500	0.15	75	12	15	180	180	300	300	120	500	300			
VAV-3-29	390	0.15	58.5	3	15	30	280	280	120	300	265	120			
VAV-3-27	390	0.15	58.5	8	15	120	120	280	200	200	400	75			
RESTROOM	220	0.15	33	4	15	60	60	75							
Totals				329				5142		8910			Column I Total Design Ventilation Air		

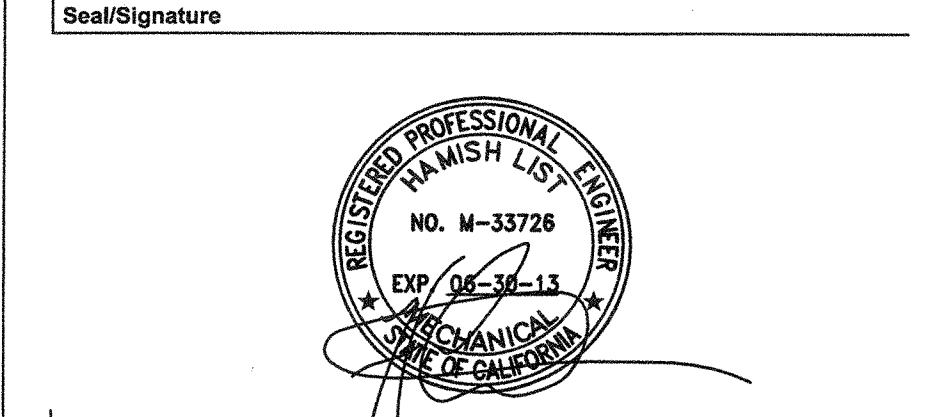
2008 Nonresidential Compliance Forms August 2008



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Issue	Date & Issue Description	By	Check
01	07/31/12		
	PLAN CHECK		
1	08/10/12		
	ISSUE FOR CONSTRUCTION		
2	09/12/12		
	BULLETIN 1		
3	10/09/12		
	BULLETIN 2		
4	10/23/2012		
	REVISED FOR PLAN CHECK		
5	11/19/12		
	BULLETIN 3		
6	02/21/13		
	BULLETIN 4		
7	03/18/2013		
	BULLETIN 5		
8	05/01/13		
	BULLETIN 6		

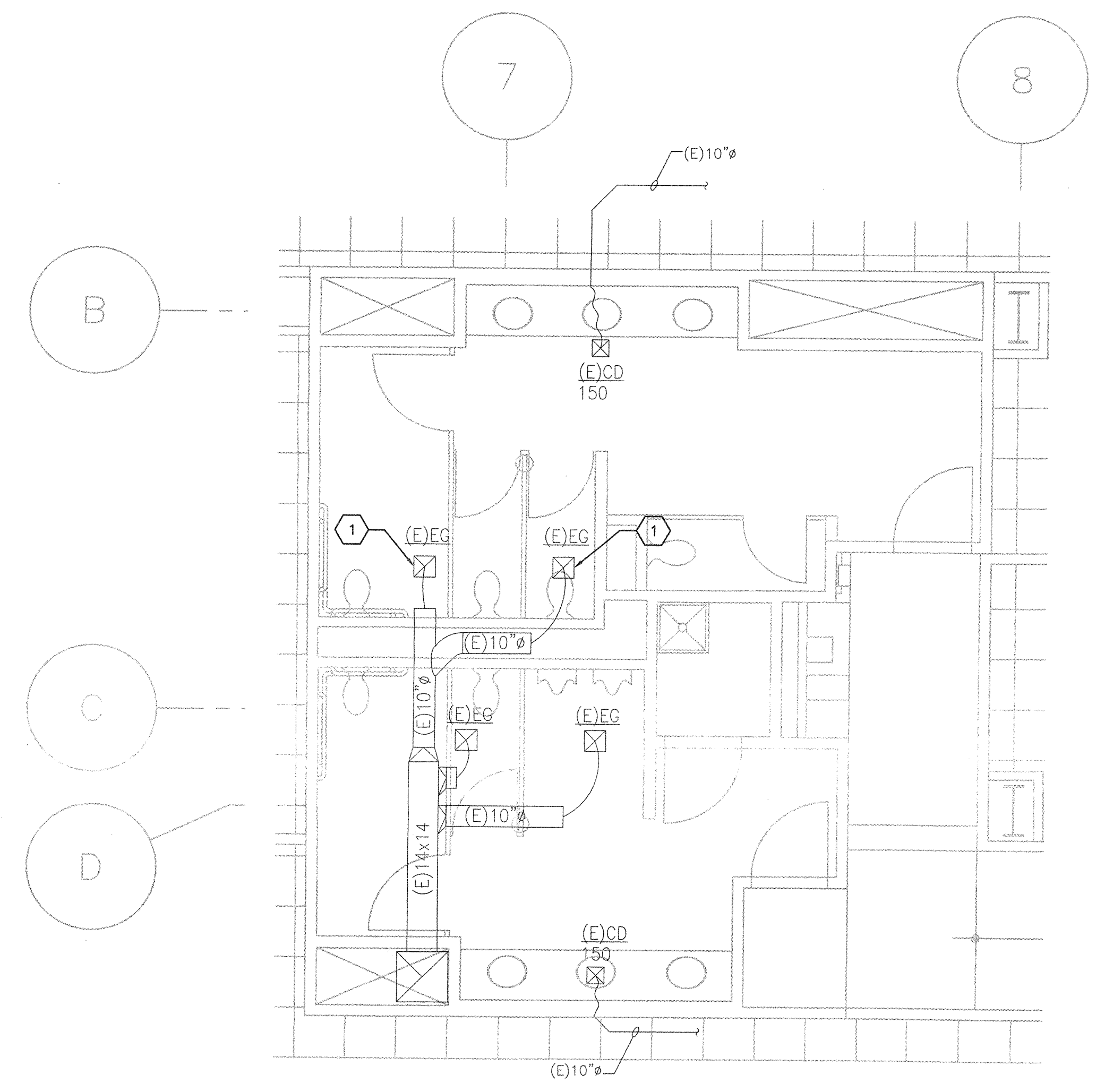


Project Name: VERIZON V.I.P.  
 Project Number: VZCOX000  
 CAD File Name: P:\LAD\CF\VZCOX000\Drawings\Sheets\M-003-VZCOX000.dwg  
 Description: TITLE-24 COMPLIANCE FORMS - MECHANICAL

Scale: NONE

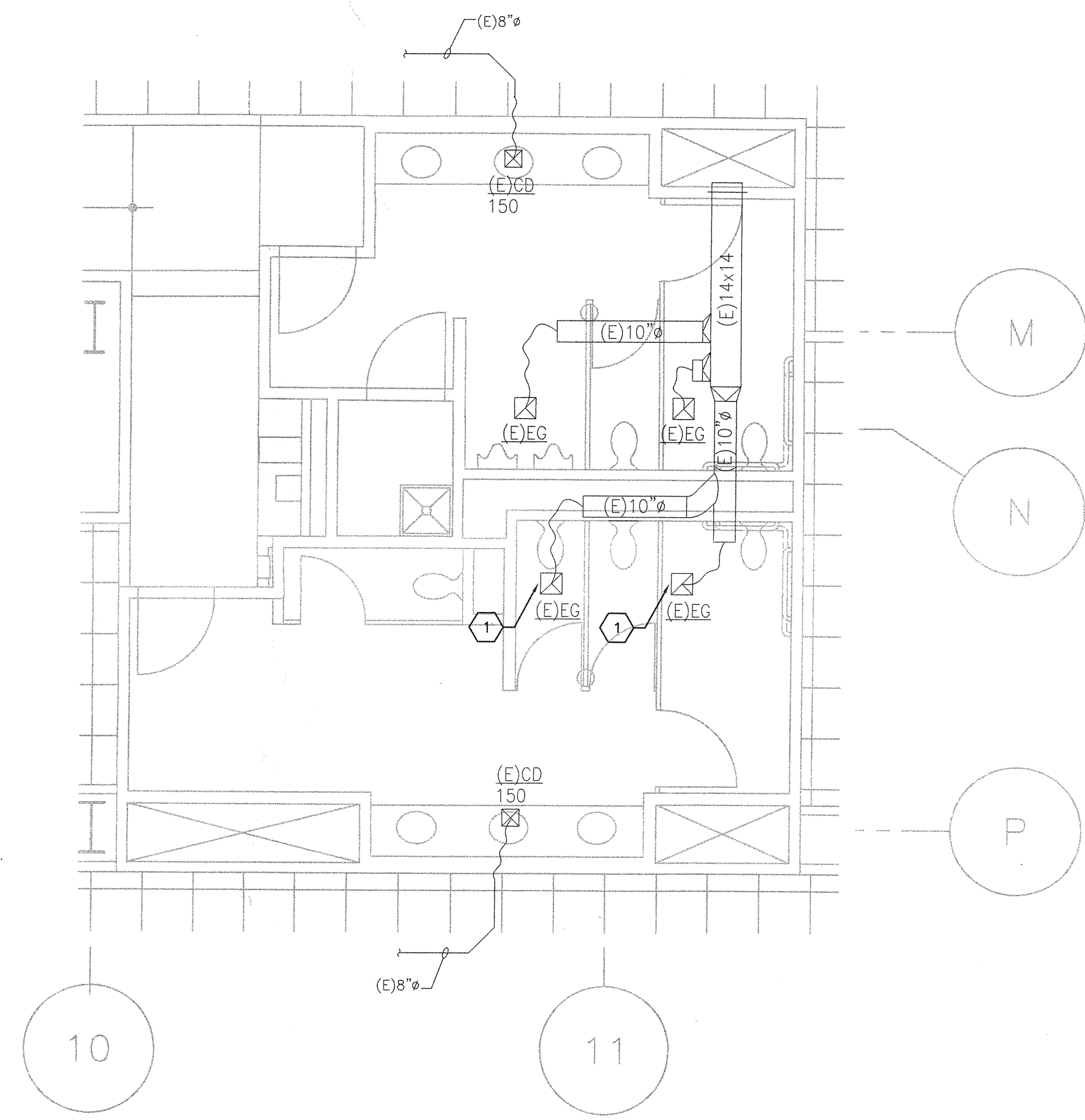
M-003

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2ND & 3RD FLOOR NORTH RESTROOM ENLARGED MECHANICAL PLAN

1



2ND & 3RD FLOOR SOUTH RESTROOM ENLARGED MECHANICAL PLAN

2

SHEET NOTES

1. CONFIRM THAT (E) EXHAUST GRILLE PROVIDES A MINIMUM OF 225 CFM. CONFIRM CAPABILITY OF ASSOCIATED EXHAUST FAN AND CONTACT ENGINEER IF THE FAN CANNOT PROVIDE CFM INDICATED.



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Oxnard, CA 93030



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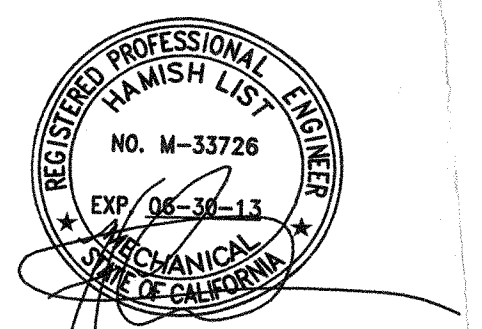


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Issue	Date & Issue Description	By	Check
01	07/31/12		
	PLAN CHECK		
1	08/10/12		
2	09/12/12		
	ISSUE FOR CONSTRUCTION		
	BULLETIN 1		
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	BULLETIN 3		
6	02/21/13		
	BULLETIN 4		
7	03/18/2013		
	BULLETIN 5		
8	05/01/13		
	BULLETIN 6		

GENERAL NOTES

1. EXISTING CONDITIONS ARE SHOWN PER AS-BUILT DOCUMENTS. NOT ALL EQUIPMENT AND DEVICES ARE SHOWN. CONTRACTOR TO VERIFY EXISTING CONDITIONS.



Project Name  
VERIZON V.I.P.

Project Number  
VZCOX00

CAD File Name  
P:\LAO\CFVZCOX000\Drawings\Sheets\M-402C-VZCOX000.dwg

Description  
SECOND & THIRD FLOOR RESTROOM ENLARGED MECHANICAL PLANS

Scale  
1/4" = 1'-0"

M-402C



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The corner tick marks represent the 30"x48" plot area.