

# Verizon

## Visual Improvement Program

### BULLETIN #4 REVISED 03/12/2013

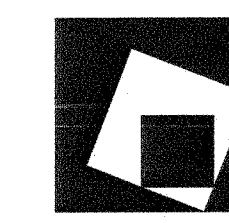
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06.8740.000

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Client

CITY OF OXNARD  
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APPROVED BY: [Signature]  
DATE: 3/12/13

CITY OF OXNARD  
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DATE: 3/12/13

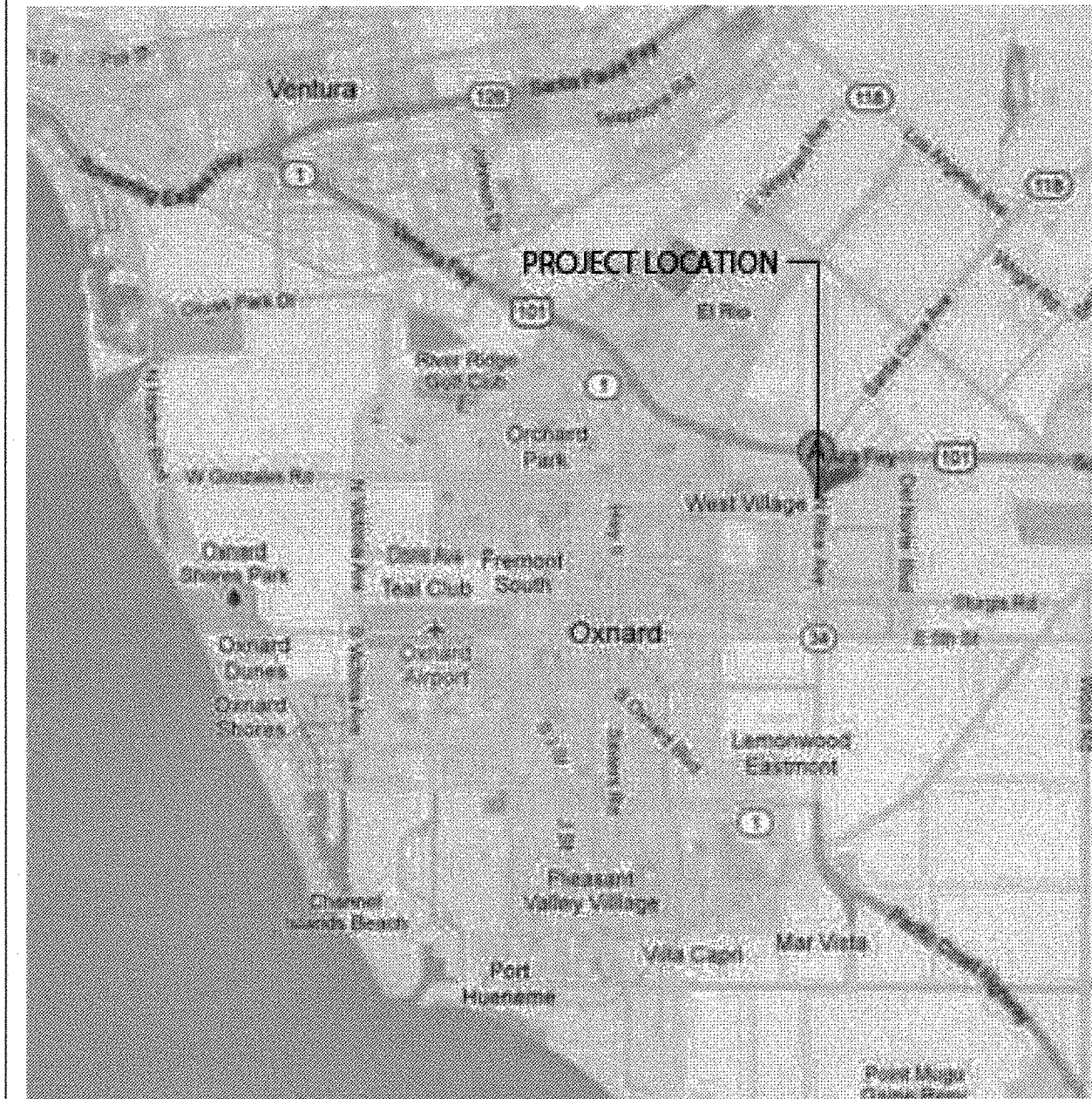
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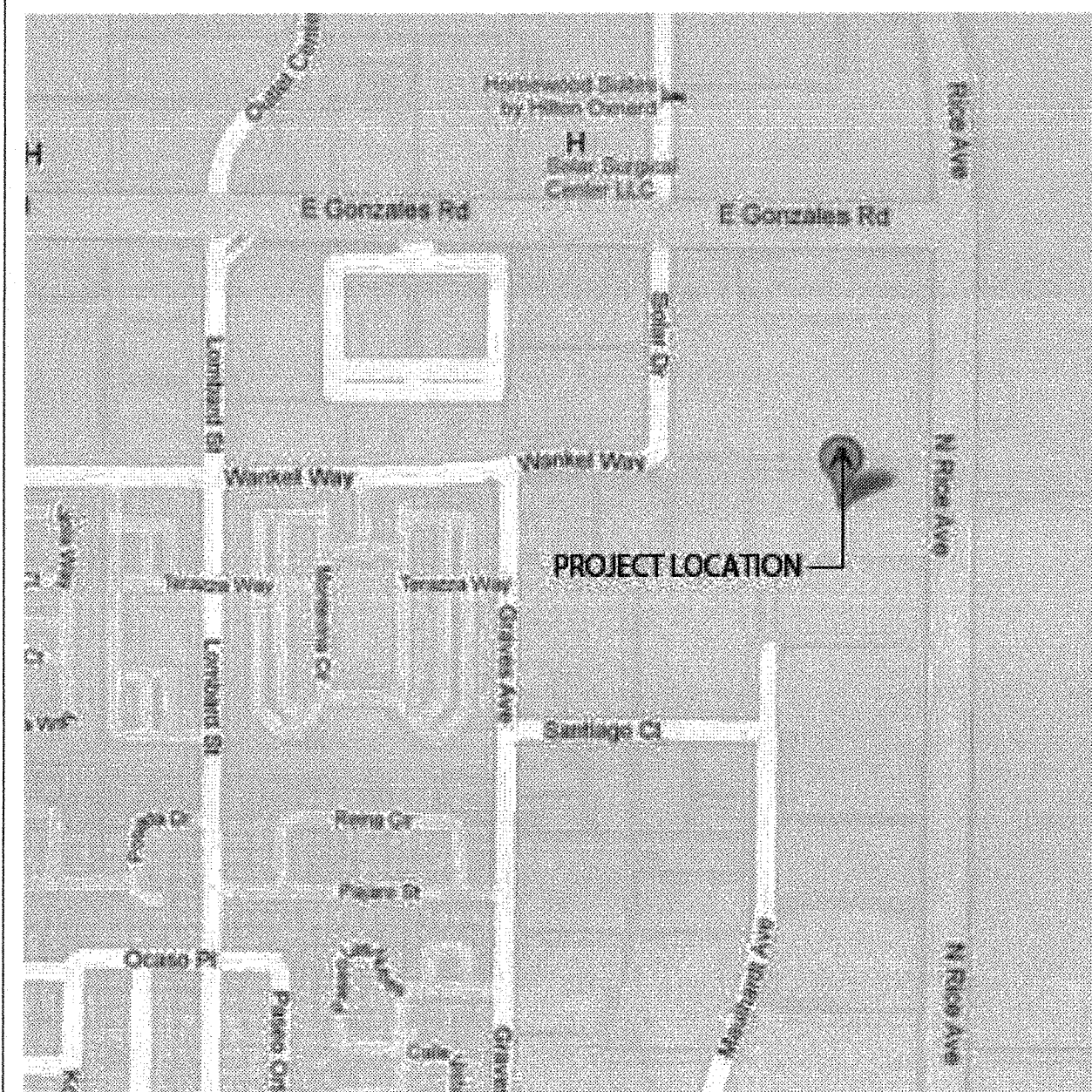
**DEPARTMENT OF BUILDING NOTES**

- THIS DRAWING IS FILED TO SHOW TENANT RENOVATIONS. ALL EXISTING AND BASE BUILDING CONSTRUCTION PREVIOUSLY APPROVED.
- SPECIAL INSPECTION SHALL BE REQUIRED FOR THE FOLLOWING:  
- FIRE STOPPING  
- FIRE RETARDANT CONSTRUCTION
- ALL INTERIOR FINISHES SHALL COMPLY WITH THE CALIFORNIA BUILDING CODE, SECTION 801.
- ALL WOOD AND WOOD PRODUCTS TO BE USED ON THIS PROJECT SHALL BE FIRE RETARDANT TREATED IN ACCORDANCE WITH SECTIONS 803.1 OF THE CALIFORNIA BUILDING CODE. THIS REQUIREMENT SHALL INCLUDE, BUT NOT BE LIMITED TO, CABINETS, WALL PANELS, TELECOMMUNICATIONS BACKBOARDS, BLOCKING, FURRING, SHIMMING AND ALL MISCELLANEOUS FRAMING ELEMENTS USED IN OR ATTACHED TO FLOOR, PARTITION AND CEILING CONSTRUCTION.
- MECHANICAL, ELECTRICAL AND PLUMBING PENETRATIONS TO BE SUBMITTED UNDER DEFERRED SUBMITTAL

**VICINITY MAP**



**LOCATION MAP**



**ASBESTOS NOTE**

IN THE EVENT OF ASBESTOS OR OTHER TOXIC SUBSTANCE EXPOSURE OR THE SUBSTANTIAL RISK THEREOF, CLIENT WILL HAVE THE DUTY TO INFORM ARCHITECT OF SUCH RISKS KNOWN OR REASONABLY KNOWN TO CLIENT. IF ASBESTOS OR ANY OTHER TOXIC SUBSTANCE, OR RISKS TO EXPOSURE THEREOF IS DISCOVERED BY ARCHITECT DURING WORK ON THE PROJECT, ARCHITECT SHALL, IN ITS SOLE DISCRETION, HAVE THE RIGHT TO SUSPEND WORK ON THE PROJECT. CLIENT SHALL HAVE THE DUTY PROMPTLY TO RETAIN A QUALIFIED EXPERT SAFELY TO RENDER OR SUPERVISE THE REMOVAL OF SUCH ASBESTOS OR OTHER TOXIC SUBSTANCE. CLIENT SHALL INDEMNIFY AND HOLD ARCHITECT, ITS AFFILIATES AND SUB-CONTRACTORS, AND THEIR OFFICERS, AGENTS AND EMPLOYEES HARMLESS FROM ANY AND ALL LIABILITY ON PART OF OR DAMAGE TO SUCH ENTITIES OR PERSONS, INCLUDING THE COST OF LEGAL FEES AND EXPENSES, AS SUCH FEES AND EXPENSES ARE INCURRED, WHICH MAY RESULT FROM ASBESTOS OR OTHER TOXIC SUBSTANCE EXPOSURE ON THE PROJECT.

**PROJECT DESCRIPTION**

THIS PROJECT OCCUPIES PORTIONS OF THE GROUND, SECOND AND THIRD FLOOR AND IS A SINGLE TENANT RENOVATION INCLUDING ARCHITECTURAL, MECHANICAL, ELECTRICAL AND PLUMBING MODIFICATIONS. SCOPE OF WORK INCLUDES: NEW FINISHES IN BATHROOMS, NEW FINISHES AND MILLWORK IN GROUND FLOOR LOBBY AND CAFETERIA, DEMOLITION OF EXISTING ELEVATOR LOBBIES AND BREAK ROOMS ON SECOND AND THIRD FLOORS, NEW CONFERENCE ROOMS, QUIET ROOMS, AND PANTRY ON SECOND AND THIRD FLOORS, NEW EXTERIOR SIGN AT MAIN PARKING ENTRY.

**PROJECT INFORMATION**

BUILDING ADDRESS: 1800 SOLAR DRIVE, OXNARD, CA 93030  
 OCCUPANCY TYPE: BUSINESS (B)  
 AREA OF WORK: 17,075 SF  
 FIRE PROTECTION: FULLY SPRINKLERED  
 CONSTRUCTION TYPE: IA

**APPLICABLE CODES**

- CALIFORNIA BUILDING CODE 2010 (TITLE 24, PART 2)
- CITY OF OXNARD MUNICIPAL CODES
- CALIFORNIA CODE OF REGULATIONS (CCR) WITH CURRENT AMENDMENTS
- A. TITLE 8, INDUSTRIAL REGULATIONS
- B. TITLE 19, PUBLIC SAFETY - STATE FIRE MARSHALL
- C. TITLE 24, BUILDING STANDARDS
- CALIFORNIA MECHANICAL CODE 2010
- CALIFORNIA ELECTRICAL CODE 2010
- CALIFORNIA PLUMBING CODE 2010
- CALIFORNIA FIRE CODE 2010
- NFPA VOLS 1-12
- CALIFORNIA ENERGY CODE 2010

**DRAWING INDEX**

		● NEW ISSUE	● REVISED ISSUE	○ ISSUED WITH NO CHANGES	* REMOVED FROM SET - NOT ISSUED	REMARKS
<b>ARCHITECTURAL</b>						
A00_00_SD	COVER SHEET	●	●	○		
A00_01_SD	DRAWING INDEX, LOCATION MAP, PROJECT INFORMATION, TYPICAL CEILING DETAIL, & BUILDING COPY NOTES	●	●	○		
A00_10_SD	GRAPHIC SYMBOLS	●	●	○		
A00_11_SD	NOTES, TYPICAL MOUNTING HEIGHTS	●	●	○		
A00_20_SD	ACCESSIBILITY DIAGRAMS	●	●	○		
A00_21_SD	PARTITION TYPES	●	●	○		
A00_22_SD	PARTITION TYPES	●	●	○		
A00_50_SD	SITE PLAN	●	●	○		
A00_51_SD	SITE MODIFICATIONS	●	●	○		
A00_80_SD	GROUND FLOOR EGRESS PLAN	●	●	○		
A00_81_SD	SECOND FLOOR EGRESS PLAN	●	●	○		
A00_82_SD	THIRD FLOOR EGRESS PLAN	●	●	○		
A01_01_SD	FIRST FLOOR DEMOLITION PLAN	●	●	○		
A01_02_SD	SECOND FLOOR DEMOLITION PLAN	●	●	○		
A01_03_SD	THIRD FLOOR DEMOLITION PLAN	●	●	○		
A02_01_SD	FIRST FLOOR CONSTRUCTION PLAN	●	●	○		
A02_02_SD	SECOND FLOOR CONSTRUCTION PLAN	●	●	○		
A02_03_SD	THIRD FLOOR CONSTRUCTION PLAN	●	●	○		
A08_01_SD	ENTRY KIOSK DETAILS	●	●	○		
A08_02_SD	ENTRY KIOSK DETAILS	●	●	○		
A08_04_SD	RECEPTION DESK DETAILS	●	●	○		
A08_40_SD	ENLARGED PLANS	●	●	○		
A08_41_SD	ENLARGED PLANS	●	●	○		
A08_42_SD	ENLARGED PLANS	●	●	○		
A08_77_SD	CAFETERIA ENLARGED PLANS	●	●	○		
A08_78_SD	CAFETERIA ENLARGED PLANS	●	●	○		
A08_81_SD	TYPICAL RESTROOM DETAILS	●	●	○		
A11_00_SD	INTERIOR ELEVATIONS	●	●	○		
A12_00_SD	TYPICAL GLASS FRONT AND PLAN DETAILS	●	●	○		
A12_10_SD	TYPICAL CEILING DETAILS	●	●	○		
A12_20_SD	TYPICAL MILLWORK DETAILS	●	●	○		
A12_21_SD	TYPICAL MILLWORK DETAILS	●	●	○		
A12_25_SD	CAFETERIA MILLWORK DETAILS	●	●	○		
A13_03_SD	EXTERIOR SIGNAGE MONUMENT DETAILS	●	●	○		
<b>FIRE PROTECTION</b>						
<b>PLUMBING</b>						
P-201	NOTES, SYMBOLS AND ABBREVIATIONS	●	●	○		
P-202	PLUMBING SPECIFICATIONS	●	●	○		
P-101	PARTIAL 1ST FLOOR PLUMBING PLAN	●	●	○		
P-102	PARTIAL 2ND FLOOR PLUMBING PLAN	●	●	○		
P-103	PARTIAL 3RD FLOOR PLUMBING PLAN	●	●	○		
<b>MECHANICAL</b>						
M-001	MECHANICAL COVER SHEET	●	●	○		
M-002	MECHANICAL SPECIFICATIONS	●	●	○		
M-003	TITLE 24	●	●	○		
M-101	PARTIAL MECHANICAL PLAN FIRST FLOOR	●	●	○		
M-102	PARTIAL MECHANICAL PLAN SECOND FLOOR	●	●	○		
M-103	PARTIAL MECHANICAL PLAN THIRD FLOOR	●	●	○		
M-601	MECHANICAL DETAILS	●	●	○		
M-701	MECHANICAL SCHEDULES	●	●	○		
<b>ELECTRICAL</b>						
E-001	MECHANICAL COVER SHEET	●	●	○		
E-002	SPECIFICATION	●	●	○		
E-003	TITLE 24 COMPLIANCE SCHEDULES	●	●	○		
E-101	1ST FLOOR OVERALL PLAN	●	●	○		
E-102	2ND FLOOR OVERALL PLAN	●	●	○		
E-103	3RD FLOOR OVERALL PLAN	●	●	○		
EL-401	1ST FLOOR PARTIAL DEMOLITION AND LIGHTING PLAN	●	●	○		
EL-402	2ND AND 3RD FLOOR PARTIAL LIGHTING PLAN	●	●	○		
ELD-401	2ND AND 3RD FLOOR PARTIAL LIGHTING AND DEMOLITION PLANS	●	●	○		
EP-401	1ST FLOOR PARTIAL DEMOLITION AND POWER PLAN	●	●	○		
EP-402	2ND AND 3RD FLOOR PARTIAL POWER PLANS	●	●	○		
EPD-401	2ND AND 3RD FLOOR PARTIAL POWER DEMOLITION PLANS	●	●	○		
E-501	ELECTRICAL DETAILS	●	●	○		
E-601	SINGLE LINE DIAGRAM	●	●	○		
E-701	PANEL SCHEDULES	●	●	○		
E-702	PANEL SCHEDULES	●	●	○		
E-703	PANEL SCHEDULES	●	●	○		
<b>IT</b>						
<b>AUDIO VISUAL</b>						
<b>SECURITY</b>						



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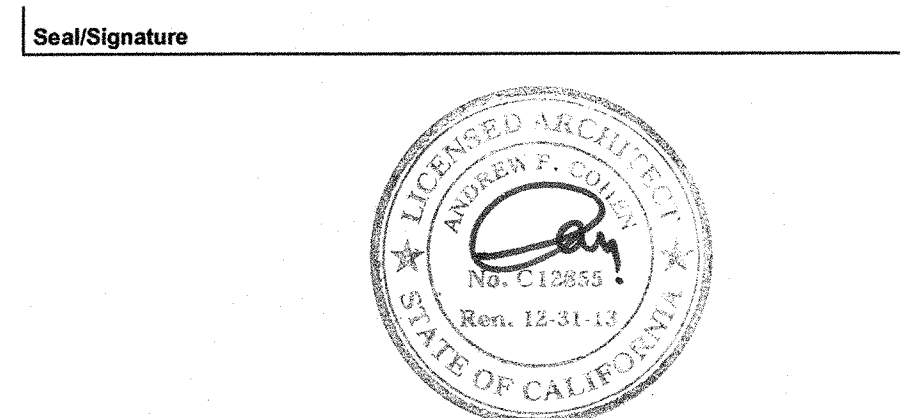
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APPROVED  
 PERMIT CENTER  
 CITY OF OXNARD  
 THIS SET OF PLANS AND SPECIFICATIONS SHALL BE KEPT ON THE JOB SITE AT ALL TIMES AND NOT BE LOANED, REPRODUCED, COPIED, OR ALTERED IN ANY MANNER WITHOUT THE WRITTEN PERMISSION FROM THE PROJECT ARCHITECT. THE SIGNATURE OF THE PLAN ARCHITECT/ENGINEER SHALL NOT BE VALID TO PROCEED WITH THE WORK UNLESS APPROVED BY THE ARCHITECT OR THE PROJECT ARCHITECT/ENGINEER.

Issue	Date & Issue Description	By	Check
01	06/22/12	SJ	SJ
PROGRESS SET			
02	07/31/12	ES/MC	SJ
Issued for Plan Check			
1	03/08/10/12	ES/MC	SJ
ISSUED FOR CONSTRUCTION			
2	04/09/12/12	ES/MC	SJ
BULLETIN # 1			
3	05/10/05/12	ES/MC	SJ
REVISED FOR PLAN CHECK COMMENTS			
4	06/11/74/12	ES	SJ
REVISED PER PLAN CHECK COMMENTS			
4	07/12/21/12	ES	SJ
PLAN CHECK			
5	08/11/91/12	ES	SJ
BULLETIN #3			
6	09/02/21/13	ES	SJ
BULLETIN #4			
6	10/03/12/13	ES	SJ
BULLETIN #4 REVISED			



Project Name  
VERIZON V.I.P.

Project Number  
06.6740.000

CAD File Name  
A00-00

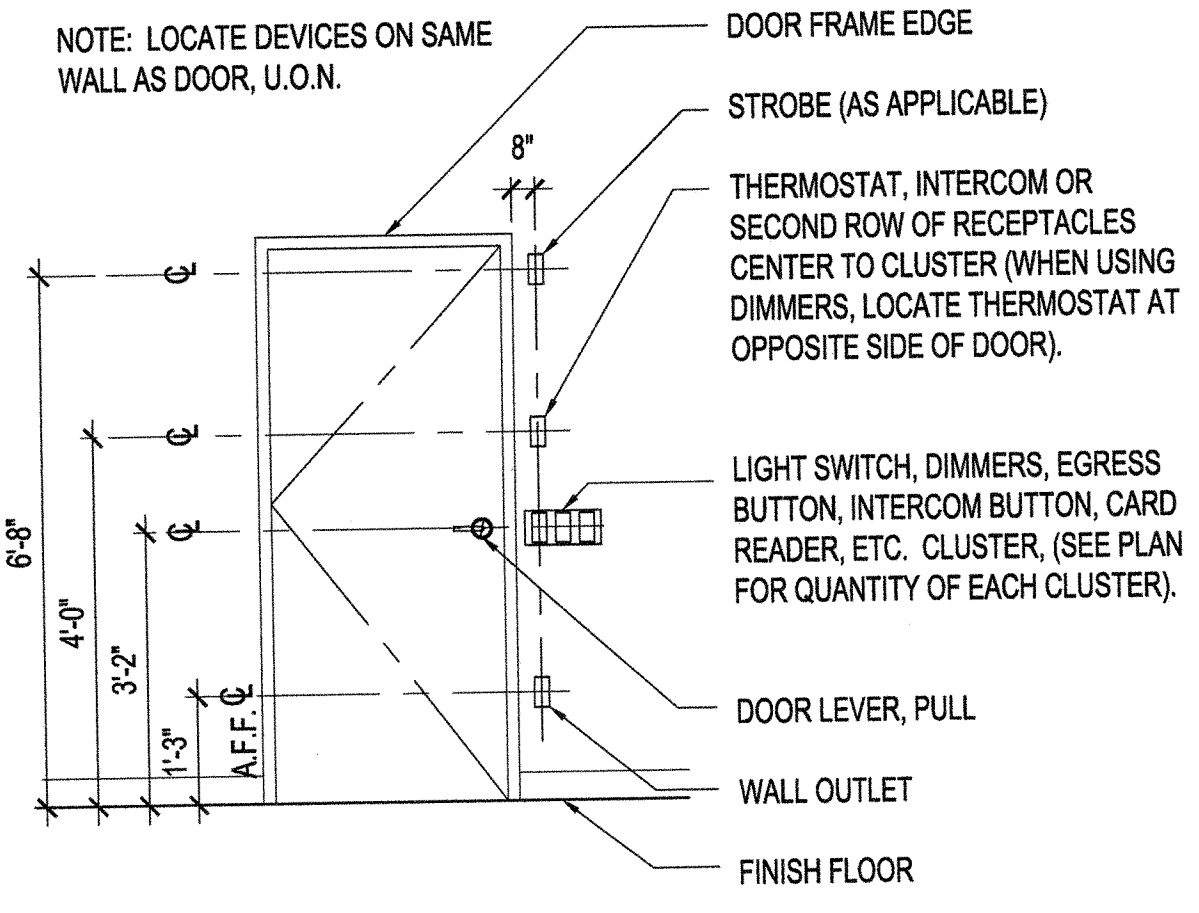
Description  
INDEX

Scale

**A00.00\_SD**

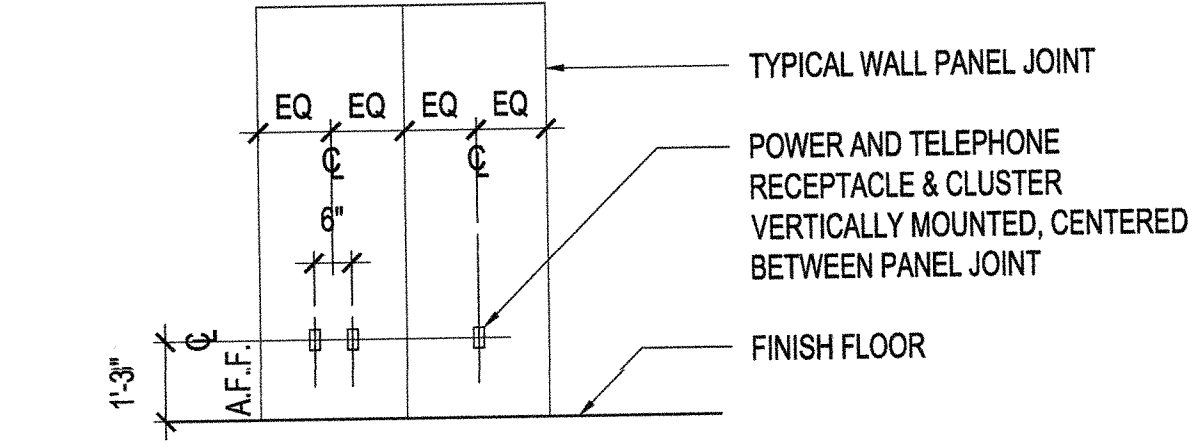


**TYPICAL MOUNTING HEIGHTS**



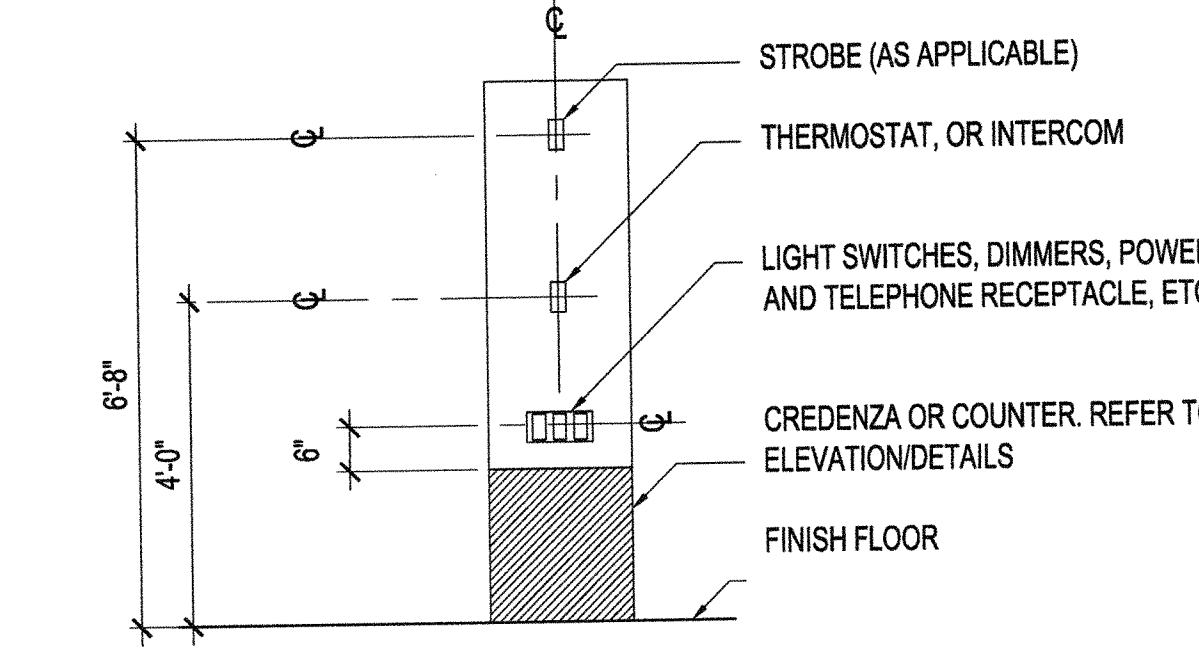
TYPICAL LOCATION FOR LIGHT SWITCHES, DIMMERS, EGRESS BUTTONS, THERMOSTATS, ETC.

**01**



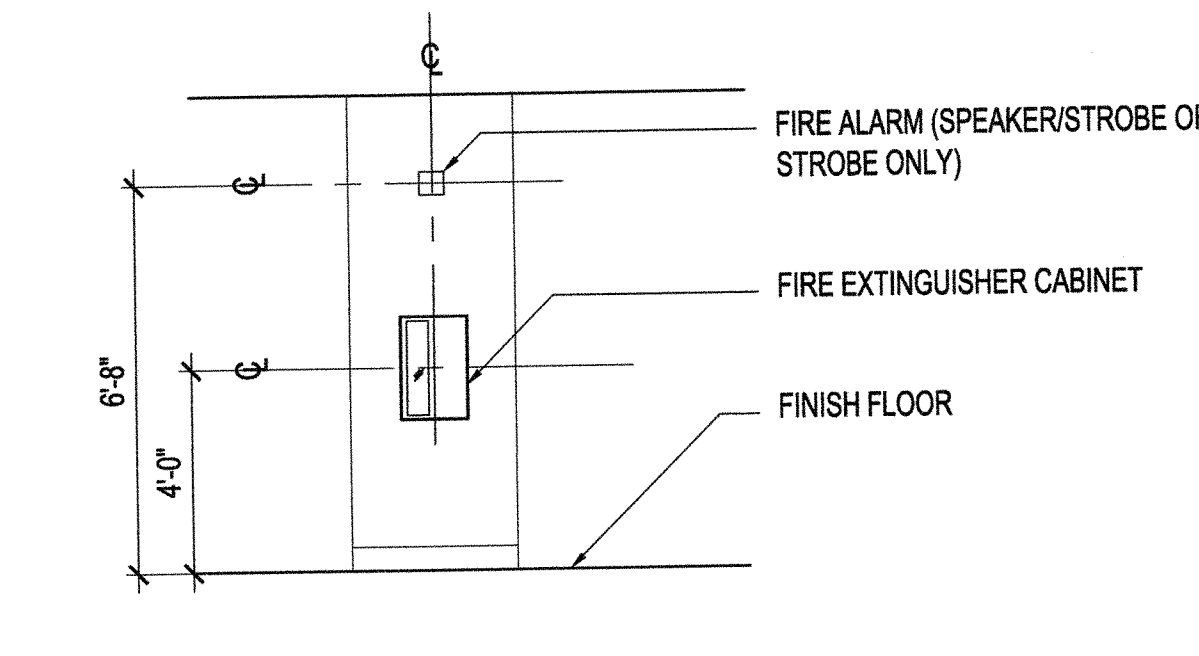
TYPICAL LOCATION FOR POWER AND TELEPHONE OUTLETS AT WALL OR COLUMN

**02**



TYPICAL SIDEWALL LOCATION FOR OUTLETS, SWITCHES AND THERMOSTATS, ETC. AT CRENDENZA OR COUNTERTOP

**03**



TYPICAL LOCATION FOR ONE OR TWO MOUNTED FIRE ALARM DEVICES/ VISUAL ALARM FES

**04**

**DISABLED ACCESS NOTES**

- IN BUILDINGS AND FACILITIES, FLOORS OF A GIVEN STORY SHALL BE A COMMON LEVEL THROUGHOUT, OR SHALL BE CONNECTED BY PEDESTRIAN RAMPS, PASSENGER ELEVATORS OR SPECIAL ACCESS LIFTS.
- FLOOR SURFACES SHALL BE SLIP-RESISTANT.
- EVERY CORRIDOR AND AISLE SERVING AN OCCUPANT LOAD OF 10 OR MORE SHALL BE NOT LESS THAN 44" IN WIDTH.
- ABRUPT CHANGES IN LEVEL ALONG ANY ACCESSIBLE ROUTE SHALL NOT EXCEED 1/2" IN HEIGHT. LEVEL CHANGES NOT EXCEEDING 1/4" MAY BE VERTICAL. BEVEL OTHERS WITH A SLOPE NO GREATER THAN 1:2.
- LATCHING AND LOCKING DOORS THAT ARE HAND ACTIVATED AND WHICH ARE IN A PATH OF TRAVEL SHALL BE OPERABLE WITH A SINGLE EFFORT BY LEVER TYPE HARDWARE, PANIC BARS, PUSH-PULL ACTIVATING BARS, OR OTHER HARDWARE DESIGNED TO PROVIDE PASSAGE WITHOUT REQUIRING THE ABILITY TO GRASP THE OPENING HARDWARE. MOUNT DOOR OPENING HARDWARE BETWEEN 30" AND 44" ABOVE FLOOR FINISH.
- CENTER HAND ACTIVATED DOOR OPENING HARDWARE BETWEEN 30" AND 44" ABOVE THE FLOOR.
- MAXIMUM PULL OR PUSH EFFORT TO OPERATE DOORS SHALL NOT EXCEED 8.5 POUNDS FOR EXTERIOR DOORS AND 5 POUNDS FOR INTERIOR DOORS, MEASURED AT RIGHT ANGLES TO HINGED DOORS AND AT CENTER PLANE OF SLIDING OR FOLDING DOORS. CORRESPONDING DEVICES OR AUTOMATIC DOOR OPERATORS MAY BE UTILIZED TO MEET THE ABOVE STANDARDS. MAXIMUM EFFORT TO OPERATE REQUIRED FIRE DOORS MAY BE INCREASED NOT TO EXCEED 15 POUNDS.
- THE BOTTOM 10" OF ALL DOORS (EXCEPT SLIDING AND AUTOMATIC) SHALL HAVE A SMOOTH UNINTERRUPTED SURFACE TO ALLOW THE DOOR TO BE OPENED BY A WHEELCHAIR FOOTREST WITHOUT CREATING A TRAP OR HAZARDOUS CONDITION. PROVIDE A 10" HIGH SMOOTH PANEL ON THE PUSH SIDE OF NARROW FRAME DOORS.
- EVERY REQUIRED ENTRANCE OR PASSAGE DOORWAY SHALL BE NOT LESS THAN 3' IN WIDTH AND NOT LESS THAN 6'-8" IN HEIGHT. DOORS SHALL BE CAPABLE OF OPENING AT LEAST 90 DEGREES AND SHALL BE SO MOUNTED THAT THE CLEAR WIDTH OF THE DOORWAY IS NOT LESS THAN 32".
- WHERE A PAIR OF DOORS IS UTILIZED, AT LEAST ONE OF THE DOORS SHALL PROVIDE A CLEAR, UNOBSTRUCTED OPENING WIDTH OF 32" WITH THE LEAF POSITIONED AT AN ANGLE OF 90 DEGREES FROM ITS CLOSED POSITION.
- IDENTIFY ACCESSIBLE ENTRANCES WITH AT LEAST ONE STANDARD SIGN AND WITH ADDITIONAL DIRECTIONAL SIGNS, AS REQUIRED, VISIBLE FROM APPROACHING PEDESTRIAN WAYS.
- THE FLOOR OR LANDING ON EACH SIDE OF AN ENTRANCE OR PASSAGE DOOR SHALL BE LEVEL AND CLEAR. THE LEVEL AND CLEAR AREA SHALL HAVE A LENGTH IN THE DIRECTION OF DOOR SWING OF AT LEAST 60" AND THE LENGTH OPPOSITE THE DIRECTION OF DOOR SWING OF 44" AS MEASURED AT RIGHT ANGLES TO THE PLANE OF THE DOOR IN ITS CLOSED POSITION.
- FLOORS OR LANDINGS SHALL BE NOT MORE THAN 1/2" LOWER THAN THE THRESHOLD OF THE DOORWAY. CHANGE IN LEVEL BETWEEN 1/4" AND 1/2" SHALL BE BEVELED WITH A SLOPE NO GREATER THAN 1:2.
- TO ALERT THE VISUALLY IMPAIRED, MARK THE UPPER APPROACH AND THE LOWER TREAD OF EACH INTERIOR STAIR WITH A STRIP OF CLEARLY CONTRASTING COLOR AT LEAST 2" WIDE, PLACED PARALLEL TO AND NOT MORE THAN 1" FROM THE NOSE OF THE STEP OR LANDING. THE STRIP SHALL BE OF A MATERIAL THAT IS AT LEAST AS SLIP RESISTANT AS THE OTHER TREADS OF THE STAIR.
- CENTER ELECTRICAL RECEPTACLE OUTLETS NOT LESS THAN 15" ABOVE THE FLOOR OR WORKING PLATFORM.
- SANITARY FACILITIES LOCATED ON AN ACCESSIBLE FLOOR OF A BUILDING SHALL BE ACCESSIBLE TO THE PHYSICALLY HANDICAPPED.
- ENTRY TO SANITARY FACILITIES:
  - A 44" CLEAR AISLES OR CORRIDORS WHERE OCCUPANT LOAD IS 10 OR MORE.
  - DOORWAYS TO HAVE A 32" CLEAR OPENING.
  - ON APPROACH SIDE, PROVIDE A 60" CLEAR LEVEL SPACE WHEN DOOR SWINGS TOWARD APPROACH AND 44" SPACE WHEN DOOR SWINGS AWAY FROM APPROACH.
- TOILET ROOM ACCESSORIES
  - MOUNT BOTTOM EDGE OF MIRRORS NO HIGHER THAN 40" FROM THE FLOOR.
  - MOUNT TOILET TISSUE DISPENSERS WITHIN 12" FROM THE FRONT EDGE OF THE TOILET SEAT.
  - MOUNT DISPENSING AND DISPOSAL FIXTURES (TOWEL, SANITARY NAPKINS, WASTE, COIN SLOTS, ETC.) WITH OPERATING PARTS NO HIGHER THAN 40" FROM THE FLOOR.
- SINGLE ACCOMMODATION TOILET FACILITY
  - WATER CLOSET TO HAVE A 28" CLEARANCE FROM A FIXTURE AND 32" FROM A WALL.
  - MINIMUM CLEAR SPACE IN FRONT OF WATER CLOSET TO BE 48".
  - A SPACE 38" X 48" IS PERMITTED IN FRONT OF EXISTING WATER CLOSET ACCESSIBLE TO THE HANDICAPPED.
- THE HEIGHT OF THE WATER CLOSET (TOP OF SEAT) SHALL BE BETWEEN 17" AND 19".
- MOUNT FLUSH VALVE CONTROL NO MORE THAN 44" ABOVE THE FLOOR, ON THE SIDE OF THE TOILET WITH THE GREATEST SEPARATION FROM ADJACENT WALL OR OTHER SURFACE.
- PROVIDE GRAB BARS ON EACH SIDE, OR ONE SIDE AND BACK OF WATER CLOSET.
  - GRAB BARS TO BE 33" ABOVE AND PARALLEL TO THE FLOOR.
  - SIDE BARS TO BE 42" LONG AND PROJECT 24" IN FRONT OF WATER CLOSET STOOL. GRAB BAR AT BACK TO BE 38" LONG.
  - DIAMETER OF GRAB BARS TO BE 1-1/4" TO 1-1/2".
  - PROVIDE 1-1/2" CLEARANCE BETWEEN GRAB BARS AND WALL.
  - GRAB BARS (INCLUDING CONNECTORS, FASTENERS, SUPPORT BACKING, ETC.) SHALL SUPPORT A 250 POUND LOAD.
  - GRAB BARS SHALL NOT ROTATE WITHIN THEIR FITTINGS.
  - GRAB BARS AND ANY ADJACENT SURFACE SHALL BE FREE OF SHARP OR ABRASIVE ELEMENTS.
  - EDGES SHALL HAVE A MINIMUM RADIUS OF 18".
- PROVIDE A CLEAR FLOOR SPACE 30" X 48" IN FRONT OF LAVATORY TO PERMIT A FORWARD APPROACH.
- MOUNT LAVATORIES WITH A MINIMUM CLEARANCE OF 28" FROM THE FLOOR TO THE BOTTOM OF THE APRON. PROVIDE KNEE CLEARANCE UNDER THE FRONT LIP EXTENDING A MINIMUM OF 30" IN WIDTH WITH 8" MINIMUM WIDTH, AND SHALL BE A MINIMUM OF 9" HIGH FROM THE FLOOR A MINIMUM OF 17" DEEP FROM THE FRONT OF THE LAVATORY.
- FAUCET CONTROLS AND OPERATING MECHANISMS SHALL BE OPERABLE WITH ONE HAND AND SHALL NOT REQUIRE TIGHT GRASPING, PINCHING OR TWISTING OF THE WRIST. THE FORCE REQUIRED TO ACTIVATE CONTROLS SHALL BE NO GREATER THAN 5 POUNDS. LEVER OPERATED, PUSH TYPE AND ELECTRONICALLY CONTROLLED MECHANISMS ARE EXAMPLES OF ACCEPTABLE DESIGNS. SELF CLOSING ARE ALLOWED IF THE FAUCET REMAINS OPEN FOR AT LEAST 10 SECONDS.
- INSULATE OR OTHERWISE COVER HOT WATER AND DRAIN PIPES UNDER LAVATORIES.
- THERE SHALL BE NO SHARP OR ABRASIVE SURFACES UNDER LAVATORIES.

**DEMOLITION NOTES**

- COMPLY WITH APPLICABLE LOCAL, STATE AND FEDERAL CODES AND REGULATIONS PERTAINING TO SAFETY OF PERSONS, PROPERTY AND ENVIRONMENTAL PROTECTION.
- PROVIDE AND MAINTAIN BARRICADES, LIGHTING, AND GUARDRAILS AS REQUIRED BY APPLICABLE CODES AND REGULATIONS TO PROTECT OCCUPANTS OF BUILDING AND WORKERS.
- ERECT AND MAINTAIN DUSTPROOF PARTITIONS AS REQUIRED TO PREVENT SPREAD OF DUST, FLAMES, AND SMOKE, ETC. TO OTHER PARTS OF THE BUILDING. ON COMPLETION, REMOVE PARTITIONS AND REPAIR DAMAGED SURFACES TO MATCH ADJACENT SURFACES.
- IF DEMOLITION IS PERFORMED IN EXCESS OF THAT REQUIRED, RESTORE EFFECTED AREAS AT NO COST TO THE OWNER.
- REMOVE FROM SITE DAILY AND LEGALLY DISPOSE OF REFUSE, DEBRIS, RUBBISH, AND OTHER MATERIALS RESULTING FROM DEMOLITION OPERATIONS.
- REMOVE DESIGNATED PARTITIONS, COMPONENTS, BUILDING EQUIPMENT, AND FIXTURES AS REQUIRED FOR NEW WORK.
- REMOVE ABANDONED HVAC EQUIPMENT, INCLUDING DUCT WORK.
- REMOVE ABANDONED ELECTRICAL, TELEPHONE AND DATA CABLING AND DEVICES, UNLESS OTHERWISE NOTED.
- REMOVE EXISTING FLOOR FINISHES AND PREPARE SUBFLOOR AS REQUIRED FOR NEW FLOOR FINISHES.

**REFLECTED CEILING NOTES**

- DESIGN SUSPENDED CEILING FRAMING SYSTEMS TO RESIST A LATERAL FORCE OF 20 % OF THE WEIGHT OF THE CEILING ASSEMBLY AND ANY LOADS TRIBUTARY TO THE SYSTEM. USE A MINIMUM CEILING WEIGHT OF 5 POUNDS PER SQUARE FOOT TO DETERMINE THE LATERAL FORCE.
  - WHERE CEILING LOADS DO NOT EXCEED 5 POUNDS PER SQUARE FOOT AND WHERE PARTITIONS ARE NOT CONNECTED TO THE CEILING SYSTEM, THE FOLLOWING BRACING METHODS MAY BE EMPLOYED:
    - PROVIDE LATERAL SUPPORT BY FOUR WIRES OF MINIMUM NO. 12 GAUGE SPUN IN FOUR DIRECTIONS 90 DEGREES APART, AND CONNECTED TO THE MAIN RUNNER WITHIN 2" OF THE CROSS RUNNER AND TO THE STRUCTURE ABOVE AT AN ANGLE NOT EXCEEDING 45 DEGREES FROM THE PLANE OF THE CEILING. PROVIDE THESE LATERAL SUPPORT POINTS 12 FEET ON CENTER IN EACH DIRECTION WITH THE FIRST POINT WITHIN 4" FROM EACH WALL.
    - ALLOW FOR LATERAL MOVEMENT OF THE SYSTEM. ATTACH MAIN RUNNERS AND CROSS RUNNERS AT TWO ADJACENT WALLS; MAINTAIN CLEARANCE BETWEEN THE WALL AND THE RUNNERS AT THE OTHER TWO WALLS. PROVIDE VERTICAL SUPPORT AS REQUIRED IN BUILDING CODES. IN ADDITION, VERTICALLY SUPPORT ENDS OF RUNNERS WITHIN 8" OF DISCONTINUITIES SUCH AS MAY OCCUR WHERE THE CEILING IS INTERRUPTED BY A WALL.
    - SUPPORT LIGHT FIXTURES AND AIR DIFFUSERS DIRECTLY BY WIRES TO THE STRUCTURE ABOVE.
  - LOCATE REGISTERS AND LIGHTING FIXTURES WITHIN GRID LINES. CENTER SPRINKLER HEADS, SPEAKERS, RECESSED FIXTURES, AND SIMILAR CEILING ELEMENTS IN ACOUSTICAL UNITS, UNLESS OTHERWISE NOTED.
  - FINISH HVAC DIFFUSERS, DRAPERY POCKETS, AND SPEAKER GRILLES TO MATCH ADJACENT FINISH, UNLESS OTHERWISE NOTED.

**POWER AND COMMUNICATION NOTES**

- PRIOR TO CORING SLAB, REVIEW LOCATIONS WITH ARCHITECT AND COORDINATE LOCATIONS WITH OWNER.
- COORDINATE INSTALLATION OF TELECOMMUNICATIONS, DATA AND SECURITY SYSTEMS.
- VERIFY EQUIPMENT SPECIFICATIONS, POWER AND INSTALLATION REQUIREMENTS WITH MANUFACTURER TO ENSURE PROPER FIT AND FUNCTION.
- VERIFY MOUNTING REQUIREMENTS OF ELECTRICAL, TELEPHONE AND OTHER EQUIPMENT.
- GANG ADJACENT LIGHT SWITCHES AND COVER WITH A SINGLE PLATE.
- PROVIDE LIGHT SWITCHING IN CONFORMANCE WITH TITLE 24 REQUIREMENTS. FOR ROOMS OR AREAS GREATER THAN 100 SQUARE FEET PROVIDE DOUBLE SWITCHES WITH EACH SWITCH CONTROLLING 50% OF LAMPS PER FIXTURE.
- MOUNT STANDARD WALL OUTLETS, SWITCHES AND THERMOSTATS AT HEIGHTS REQUIRED BY TITLE 24 AND ADA GUIDELINES, UNLESS OTHERWISE NOTED. WHEN THERMOSTATS AND LIGHT SWITCH OCCUR TOGETHER, INSTALL BOTH ALIGNED HORIZONTALLY WITH CENTER LINE AT +3-2" ABOVE FINISHED FLOOR.
- INDICATED DIMENSIONS ARE TO THE CENTER LINE OF OUTLET OR SWITCH, OR CLUSTER OF OUTLETS OR SWITCHES, UNLESS OTHERWISE NOTED.
- INSTALL OUTLETS ON OPPOSITE SIDES OF PARTITIONS IN SEPARATE STUD CAVITIES. DO NOT INSTALL BACK-TO-BACK.
- PROVIDE MATCHING COVER PLATES, RECEPTACLES AND RELATED ITEMS. PROVIDE ONE-PIECE TYPE GANG COVER PLATES, UNLESS OTHERWISE NOTED.
- IDENTIFY DEDICATED OR ISOLATED GROUND ELECTRICAL OUTLETS WITH A RED DOT.

**FINISH NOTES**

- ENSURE SURFACES TO RECEIVE FINISHES ARE CLEAN, TRUE, AND FREE OF IRREGULARITIES. DO NOT PROCEED WITH WORK UNTIL UNSATISFACTORY CONDITIONS HAVE BEEN CORRECTED.
- REPAIR EXISTING SURFACES TO REMAIN AS REQUIRED FOR APPLICATION OF NEW FINISHES.
- PROVIDE STRAIGHT, FLUSH RESILIENT BASE AT CARPETED AREAS, AND COVER, TOP SET RESILIENT BASE AT RESILIENT FLOORING, UNLESS OTHERWISE NOTED.

**GENERAL NOTES**

- COMPLY WITH CODES, LAWS, ORDINANCES, RULES, AND REGULATIONS OF PUBLIC AUTHORITIES GOVERNING THE WORK.
- OBTAIN AND PAY FOR PERMITS AND INSPECTIONS REQUIRED BY PUBLIC AUTHORITIES GOVERNING THE WORK.
- REVIEW DOCUMENTS, VERIFY DIMENSIONS AND FIELD CONDITIONS AND CONFIRM THAT WORK IS BUILDABLE AS SHOWN. REPORT ANY CONFLICTS OR OMISSIONS TO THE ARCHITECT FOR CLARIFICATION PRIOR TO PERFORMING ANY WORK IN QUESTION.
- SUBMIT REQUESTS FOR SUBSTITUTIONS, REVISIONS, OR CHANGES TO ARCHITECT FOR REVIEW PRIOR TO PURCHASE, FABRICATION OR INSTALLATION.
- COORDINATE WORK WITH THE OWNER, INCLUDING SCHEDULING TIME AND LOCATIONS FOR DELIVERIES, BUILDING ACCESS, USE OF BUILDING SERVICES AND FACILITIES, AND USE OF ELEVATORS. MINIMIZE DISTURBANCE OF BUILDING FUNCTIONS AND OCCUPANTS.
- OWNER WILL PROVIDE WORK NOTED "BY OTHERS" OR "NIC" UNDER SEPARATE CONTRACT. INCLUDE SCHEDULE REQUIREMENTS IN CONSTRUCTION PROGRESS SCHEDULE AND COORDINATE TO ASSURE ORDERLY SEQUENCE OF INSTALLATION COORDINATE TELECOMMUNICATIONS, DATA AND SECURITY SYSTEM INSTALLATIONS.
- MAINTAIN EXITS, EXIT LIGHTING, FIRE PROTECTIVE DEVICES, AND ALARMS IN CONFORMANCE WITH CODES AND ORDINANCES.
- PROTECT AREA OF WORK AND ADJACENT AREAS FROM DAMAGE.
- MAINTAIN WORK AREAS SECURE AND LOCKABLE DURING CONSTRUCTION. COORDINATE WITH TENANT AND LANDLORD TO ENSURE SECURITY.
- DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN. IN CASE OF CONFLICT, CONSULT THE ARCHITECT.
- PARTITIONS ARE DIMENSIONED FROM FINISH FACE TO FINISH FACE, UNLESS OTHERWISE NOTED. MAINTAIN DIMENSIONS MARKED "CLEAR" ALLOW FOR THICKNESS OF FINISHES.
- COORDINATE AND PROVIDE BACKING FOR MILLWORK AND ITEMS ATTACHED OR MOUNTED TO WALLS OR CEILINGS.
- WHERE EXISTING ACCESS PANELS CONFLICT WITH CONSTRUCTION, RELOCATE PANELS TO ALIGN WITH AND FIT WITHIN NEW CONSTRUCTION.
- UNDERCUT DOORS TO CLEAR TOP OF FLOOR FINISHES BY 1/4 INCH, UNLESS OTHERWISE NOTED.

**FIRE DEPARTMENT NOTES**

- PROVIDE A PORTABLE FIRE EXTINGUISHER WITH A RATING OF NOT LESS THAN 2-A WITHIN 75 FOOT TRAVEL DISTANCE TO ALL PORTIONS OF THE BUILDING ON EACH FLOOR, AND ADDITIONAL EXTINGUISHERS AS REQUIRED BY FIRE DEPARTMENT FIELD INSPECTOR OR BUILDING DEPARTMENT INSPECTOR.
- PROVIDE EXIT SIGN WITH 6" LETTERS OVER REQUIRED EXITS, WHERE SHOWN ON DRAWINGS, AND ADDITIONAL SIGNS AS REQUIRED BY BUILDING DEPARTMENT INSPECTOR OR FIRE DEPARTMENT FIELD INSPECTOR. CONNECT EXIT SIGNS TO EMERGENCY POWER CIRCUITS. COMPLY WITH BUILDING CODES.
- PROVIDE EMERGENCY LIGHTING OF ONE FOOT-CANDLE AT FLOOR LEVEL. COMPLY WITH BUILDING CODES.
- MAINTAIN AISLES AT LEAST 44" WIDE AT PUBLIC AREAS.
- EVERY EXIT DOOR SHALL BE OPERABLE FROM THE INSIDE WITHOUT THE USE OF A KEY OR ANY SPECIAL KNOWLEDGE OR EFFORT. SPECIAL LOCKING DEVICES SHALL BE OF AN APPROVED TYPE. ALL NEW DOORS SHALL HAVE APPROVED LEVER HANDLES.
- DOORS OPENING INTO REQUIRED 1-HOUR, FIRE-RESISTIVE CORRIDORS SHALL BE PROTECTED WITH A SMOKE OR DRAFT STOP ASSEMBLY HAVING A 20-MINUTE RATING AND SHALL BE SELF-CLOSING.
- 20-MINUTE DOOR JAMBS TO BE TIGHT-FITTING, SMOKE AND DRAFT CONTROLLED.
- EXIT DOORS SHALL SWING IN THE DIRECTION OF TRAVEL WHEN SERVING 50 OR MORE PERSONS AND IN ANY HAZARDOUS AREA.
- INTERIOR WALL AND CEILING FINISHES FOR EXIT CORRIDOR SHALL NOT EXCEED AN END POINT FLAME SPREAD RATING: A. CLASS I, FLAME SPREAD 0-25, SMOKE DENSITY 150, FOR MATERIALS INSTALLED IN VERTICAL EXITS. B. CLASS II, FLAME SPREAD 26-75, SMOKE DENSITY 300, FOR MATERIALS INSTALLED IN HORIZONTAL EXITS. C. CLASS III, FLAME SPREAD 76-200, SMOKE DENSITY 450, FOR MATERIALS INSTALLED IN ANY OTHER LOCATION.
- DECORATIONS (CURTAINS, DRAPES, SHADES, HANGINGS, ETC.) SHALL BE NON-COMBUSTIBLE OR BE FLAMEPROOFED IN AN APPROVED MANNER.
- PROVIDE FIRE DAMPERS OR DOORS WHERE AIR DUCTS PENETRATE FIRE-RATED WALLS OR CEILINGS.
- STORAGE, DISPENSING OR USE OF ANY FLAMMABLE OR COMBUSTIBLE LIQUIDS, FLAMMABLE GAS AND HAZARDOUS SUBSTANCES SHALL COMPLY WITH UNIFORM FIRE CODE REGULATIONS.
- WOOD BLOCKING SHALL BE FIRE TREATED IN ACCORDANCE WITH APPLICABLE CODE REQUIREMENTS.
- EXTEND OR MODIFY EXISTING FIRE/LIFE SAFETY SYSTEM AS REQUIRED TO PROVIDE AN APPROVED FIRE/LIFE SAFETY SYSTEM. SUBMIT PLANS TO FIRE DEPARTMENT WITH COMPLETE DESCRIPTION OF SEQUENCE OF OPERATION, AND OBTAIN APPROVAL PRIOR TO INSTALLATION.
- EMERGENCY WARNING SYSTEMS SHALL ACTIVATE A MEANS OF WARNING THE HEARING IMPAIRED. FLASHING VISUAL WARNING SHALL HAVE A FREQUENCY OF NOT MORE THAN 60 FLASHES PER MINUTE.
- EXTEND OR MODIFY EXISTING AUTOMATIC FIRE EXTINGUISHING SYSTEM AS REQUIRED TO PROVIDE AN APPROVED AUTOMATIC FIRE EXTINGUISHING SYSTEM. SUBMIT PLANS TO FIRE DEPARTMENT AND OBTAIN APPROVAL PRIOR TO INSTALLATION.
- AUTOMATIC SPRINKLER SYSTEMS SHALL BE SUPERVISED BY AN APPROVED CENTRAL, PROPRIETARY OR REMOTE STATION SERVICE OR A LOCAL ALARM WHICH WILL GIVE AN AUDIBLE SIGNAL AT A CONSTANTLY ATTENDED LOCATION.

**ABBREVIATIONS**

<b>A</b>	ACCESS ACCUS AFF ALT ANNUC AND APP ARCH AUTO AVG &	ACCESSORY ACOUSTICAL) ABOVE FINISHED FLOOR ALUMINUM ALTERNATE ANNUNCIATOR ANODIZED APPLANCE ARCHITECT(URAL) AUTOMATIC AVERAGE AND	<b>K</b>	KIT KITCHEN
<b>B</b>	BLDG BOLD BD BKLG BRDLM BU	BUILDING BOLLARD BOARD BLOCKING BROADLOOM BUILT UP	<b>L</b>	LAV LB E LT LVLG LVR
<b>C</b>	CAB CPT CEM CER CLG COATG COILG CONCG CONSTR CONT CONTR COV CMU	CABINET CARPET CEMENTITIOUS) CERAMIC CEILING COATING COILING CONCRETE CONSTRUCTION CONTINUOUS(ATION) CONTRACT(OR) COVER CONCRETE MASONRY UNIT	<b>M</b>	MAX MFD MFR MECH MET MEMB MEZZ MIN MISC MLWK MOIST MOT MTD
<b>D</b>	DBL DEPT DES DET DF DIA DIFUSER DIM DISP DIV DN \$ DR DSCON DWR	DOUBLE DEPARTMENT DESIGN(ED) DETAIL DRINKING FOUNTAIN DIAMETER DIMENSION DISPENSER DIVISION DOWN DOLLAR (US CURRENCY) DOOR DISCONNECT DRAWER	<b>N</b>	NIC NO NTS
<b>E</b>	ELAST ELEC EMBED ENGR ENTR EQ EQP EXIST EXP JT EXPS EXT	ELASTOMERIC ELECTRICAL EMBEDDED(ING) ENGINEER(ED) ENTRANCE EQUAL EQUIPMENT EXISTING EXPANSION JOINT EXPOSE(D) EXTERIOR	<b>O</b>	ORNA OVFL OVHD OPNG OPR
<b>F</b>	FAB FD FE FE&C FHC FIN FLDG FPLC FR FRJS FRMG FXD FXTR FLR FURN FWC	FABRICATION FLOOR DRAIN FIRE EXTINGUISHER AND CABINET FIRE HOSE CABINET FINISH FOLDING FIREPLACE FIRE RATING(ED) FIRE RATED JOINT SYSTEM FIXED FIXTURE FLOORING) FURNITURE FABRIC WALL COVERING	<b>P</b>	PTN PEDSTR PBD PNL POLYST PORT PREFIN PREFAB PLAM PLAS PLSTC PLYWD PRTECN
<b>G</b>	GA GFRRC GFRG GFRP GL GR GYP	GAUGE GLASS FIBER REINFORCED CONCRETE GLASS FIBER REINFORCED GYPSUM GLASS GRADE(ING) GYPSUM	<b>R</b>	RDR RECES RECPPT REF REFLECTED REFR REFRIGERATOR REQD RESIS RESISTANT(IVE) REINF REINFORCE(D)(ING)(MENT) RESIL RESILIENT RFG RM RO
<b>H</b>	HD HDW HW HE HM HORIZ HVAC	HEAD HARDWOOD HARDWARE HOLLOW METAL HORIZONTAL HEATING, VENTILATING, AND AIR CONDITIONING	<b>S</b>	SCR SECUR SF SGL SHORG SIM SST STD STL STRFR STRUCT SURF SUSP SYS
<b>I</b>	INFO INSTRUM INSUL INT INFLTR	INFORMATION INSTRUMENT(ATION) INSULATION INTERLOCK(ING) INTERIOR INFILTRATION	<b>T</b>	THK TLT TRAF TRNS TRTD T&G TYP
<b>J</b>	JAN	JANITOR	<b>U</b>	UNDRLAY UNDERLAYMENT UTILITY UNLESS NOTED OTHERWISE
			<b>V</b>	VEH VERT VIF
			<b>W</b>	WC WTR WOOD WDW WIO WT WTRPRF



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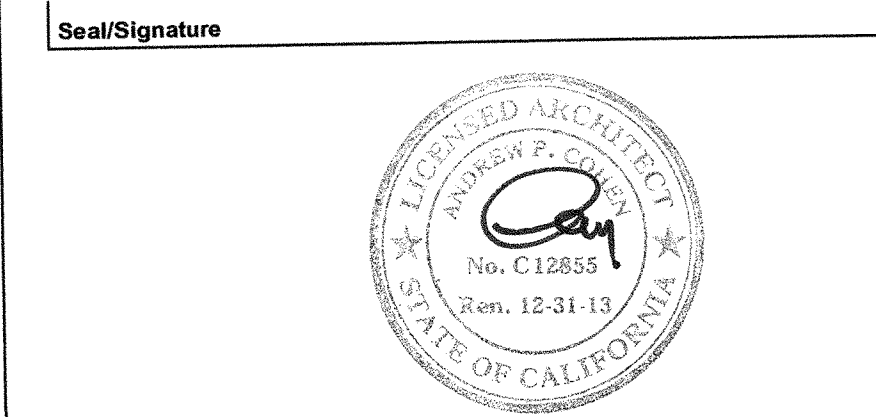
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APPROVED  
HERMUT GENSLER  
CITY OF OXNARD  
I, THE CITY OF OXNARD AND OTHER OFFICIALS, HEREBY CERTIFY THAT THE ABOVE SET OF PLANS HAS BEEN REVIEWED AND APPROVED FOR THE CITY OF OXNARD AND THAT THE CITY OF OXNARD HAS THE AUTHORITY TO ISSUE PERMITS FOR THE CONSTRUCTION OF THE PROJECT DESCRIBED IN THE PLANS. THE CITY OF OXNARD DOES NOT WARRANT THE ACCURACY OR COMPLETENESS OF THE INFORMATION CONTAINED IN THESE PLANS OR THE DESIGN OR CONSTRUCTION OF THE PROJECT DESCRIBED THEREIN. THE CITY OF OXNARD DOES NOT ASSUME ANY LIABILITY FOR ANY DAMAGE TO PERSONS OR PROPERTY RESULTING FROM THE USE OF THESE PLANS OR THE DESIGN OR CONSTRUCTION OF THE PROJECT DESCRIBED THEREIN.

Issue	Date & Issue Description	By	Check
01	08/22/12	SJ	SJ
	PROGRESS SET		
02	07/31/12	ES/MC	SJ
	Issued for Plan Check		
1	08/10/12	ES/MC	SJ
	ISSUED FOR CONSTRUCTION		
3	04/10/05/12	ES/MC	SJ
	REVISED FOR PLAN CHECK COMMENTS		
4	05/12/12/12	ES	SJ
	PLAN CHECK		
6	02/21/13	ES	SJ
	BULLETIN #4		



Project Name  
VERIZON V.I.P.

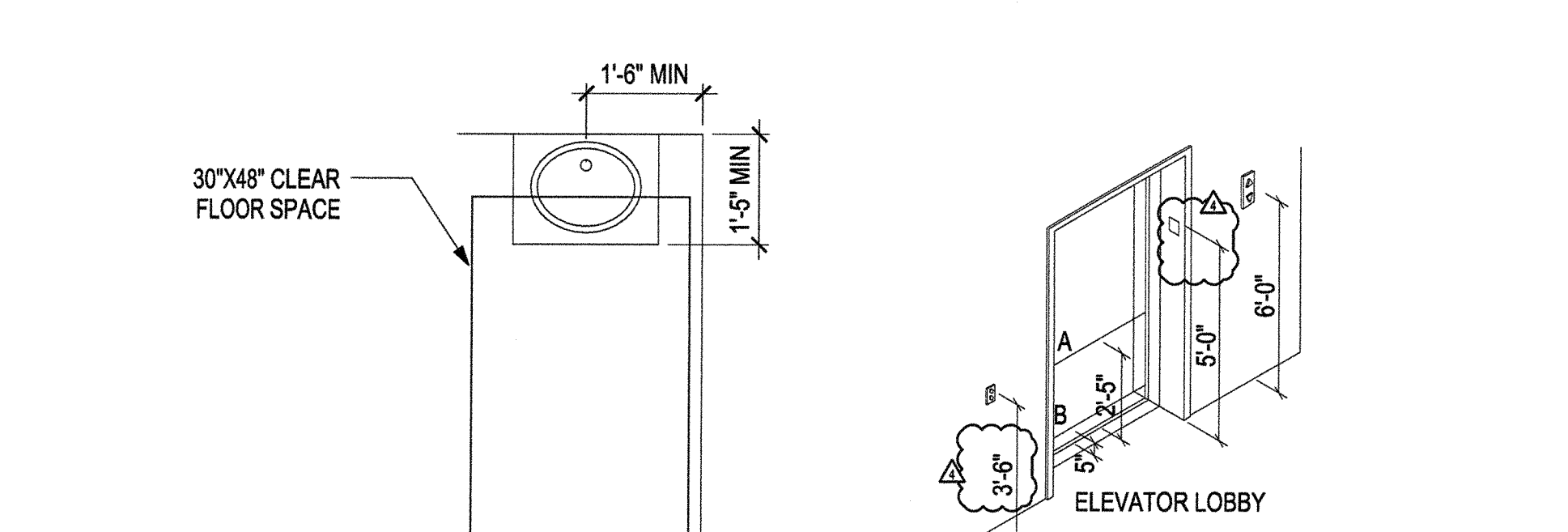
Project Number  
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CAD File Name  
A00-10

Description  
GENERAL NOTES

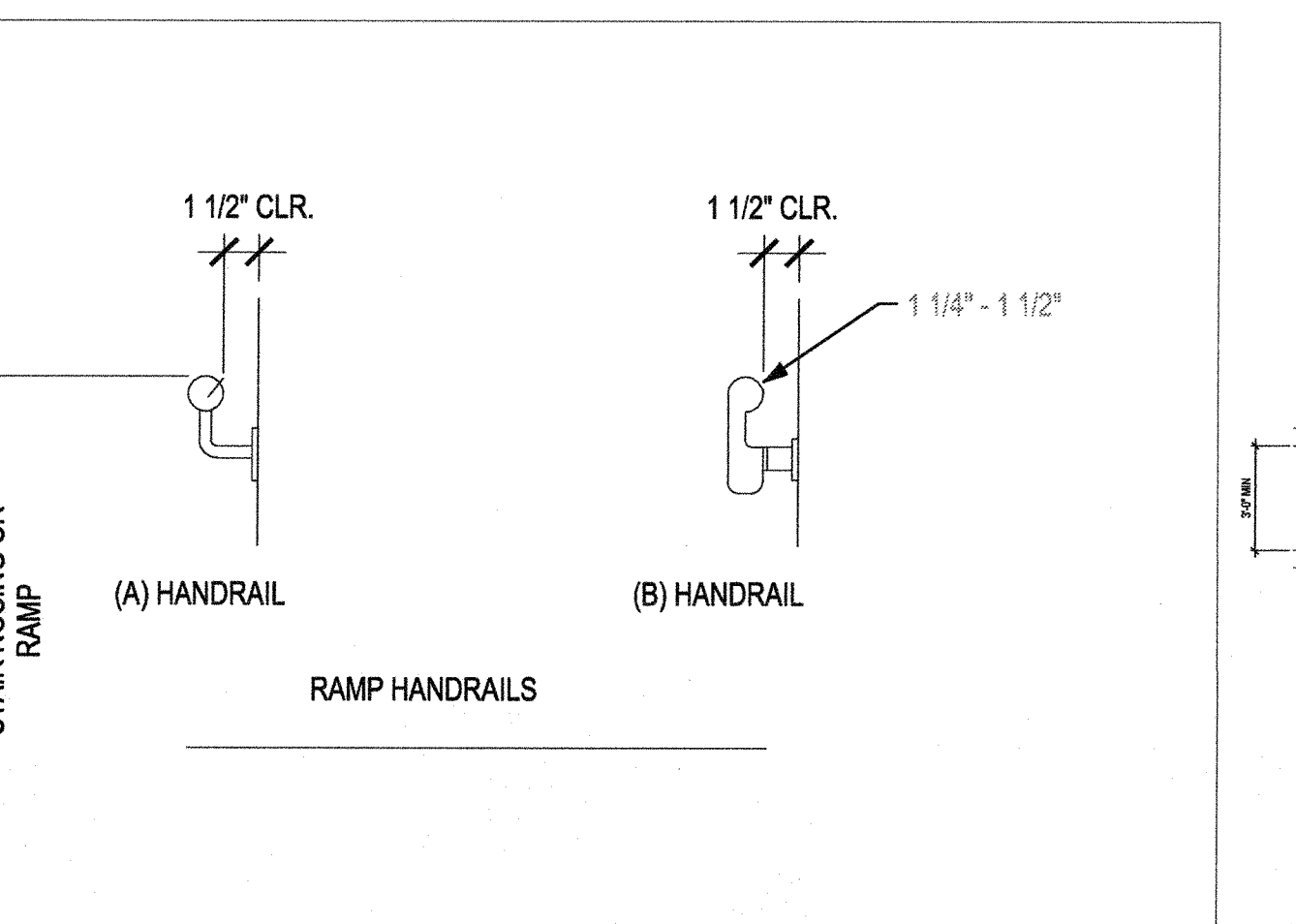
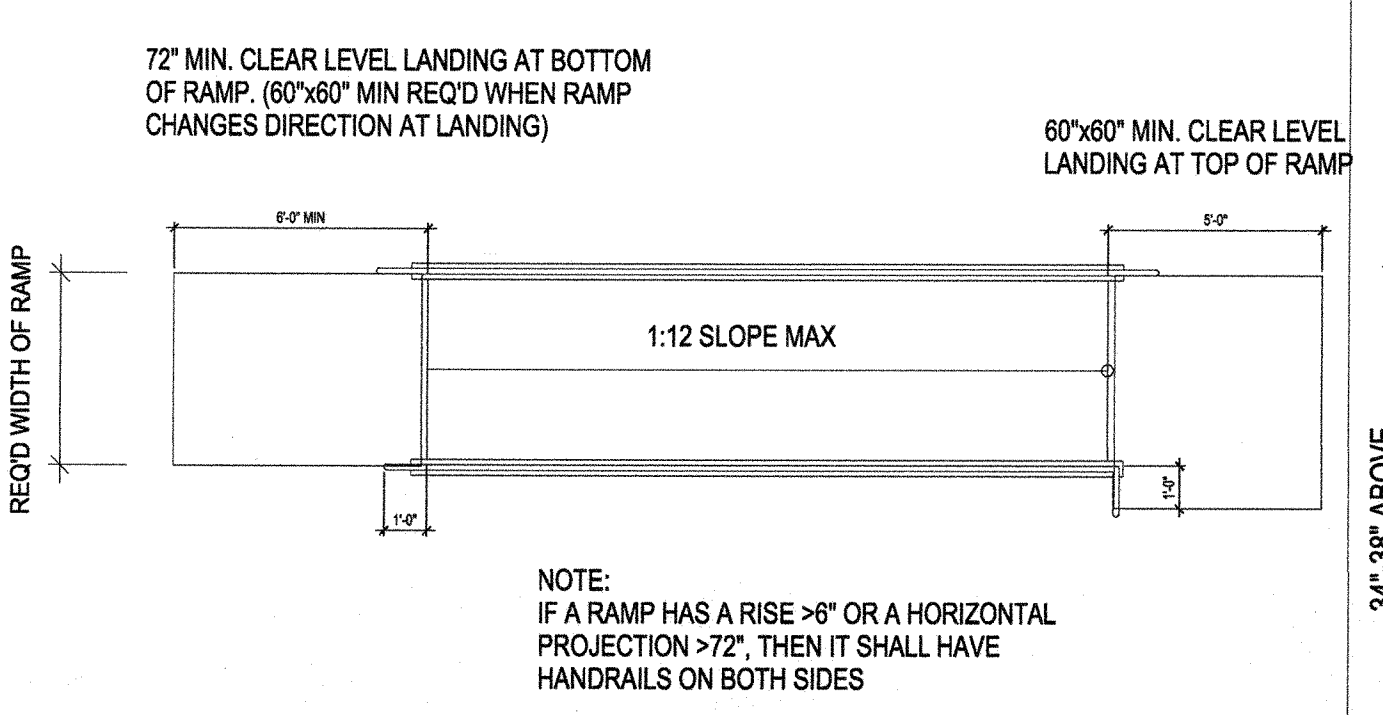
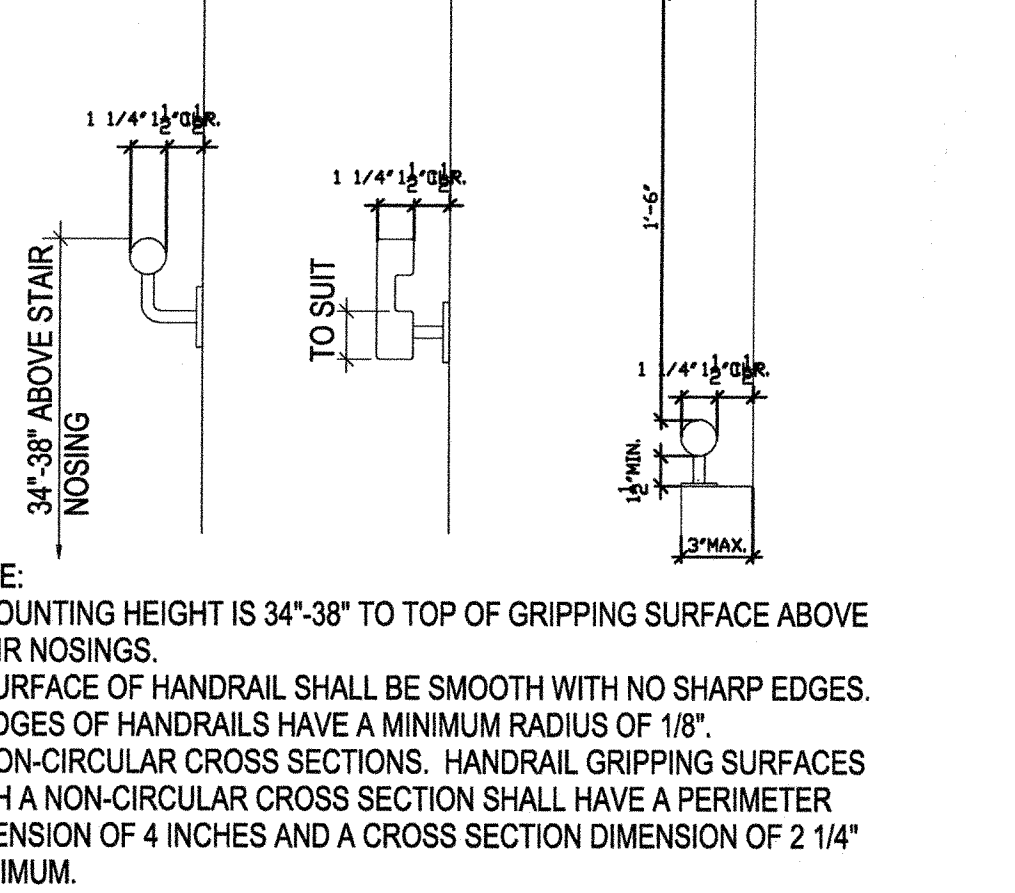
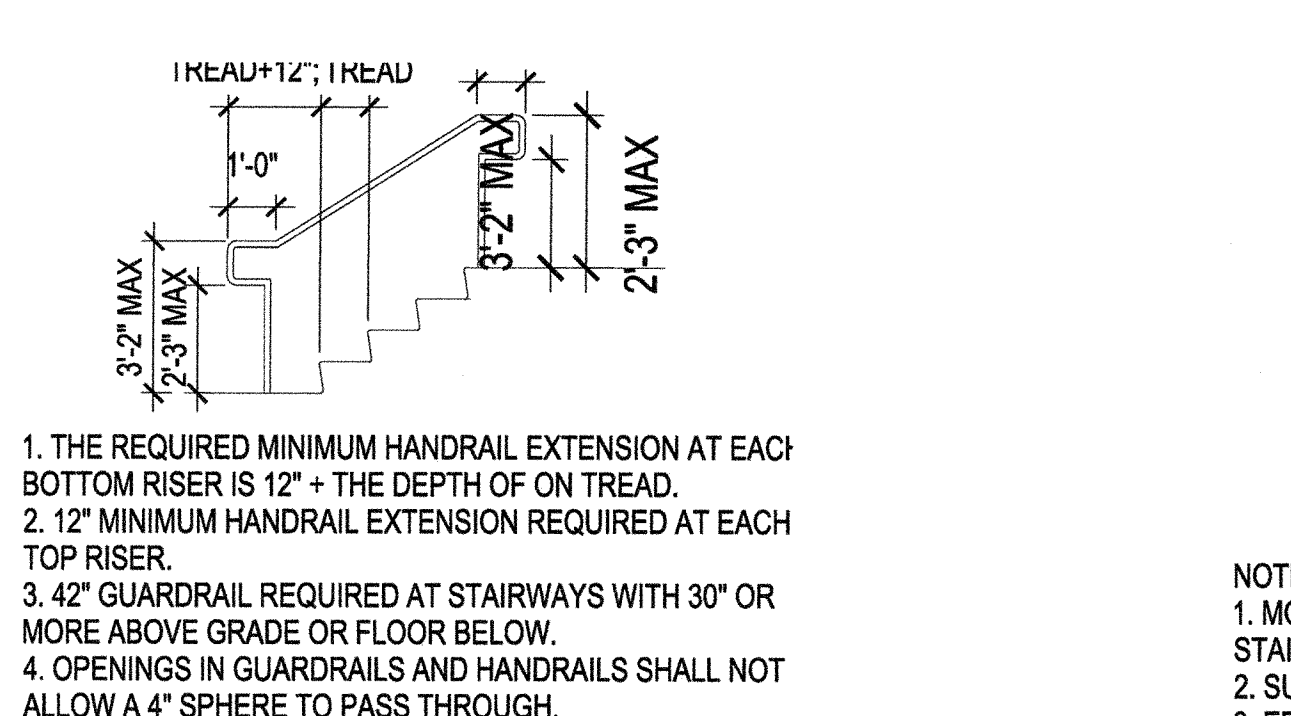
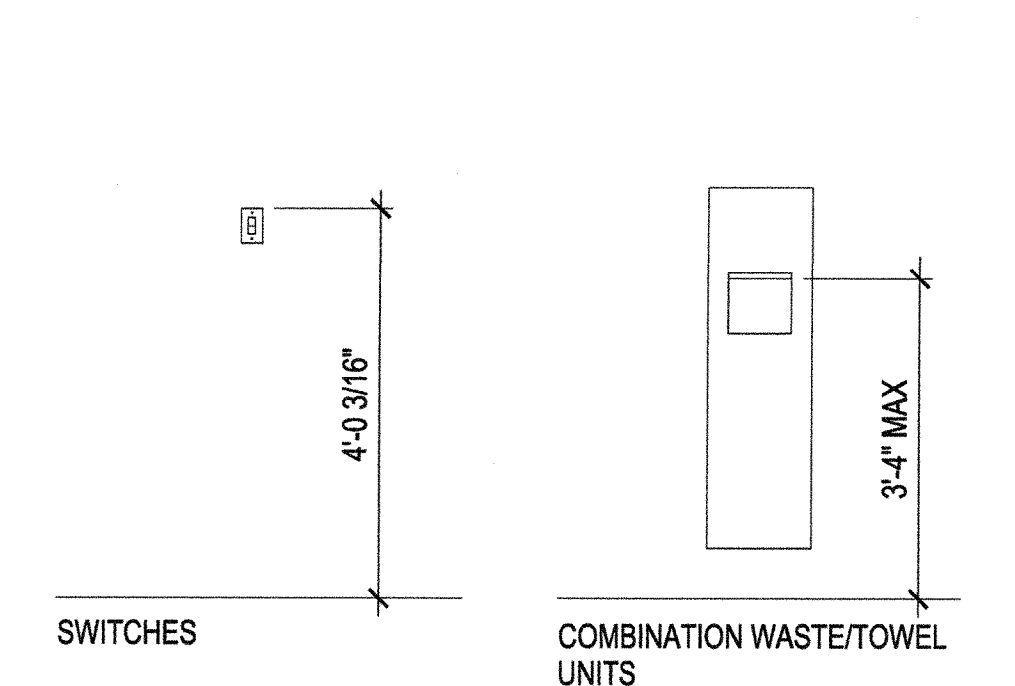
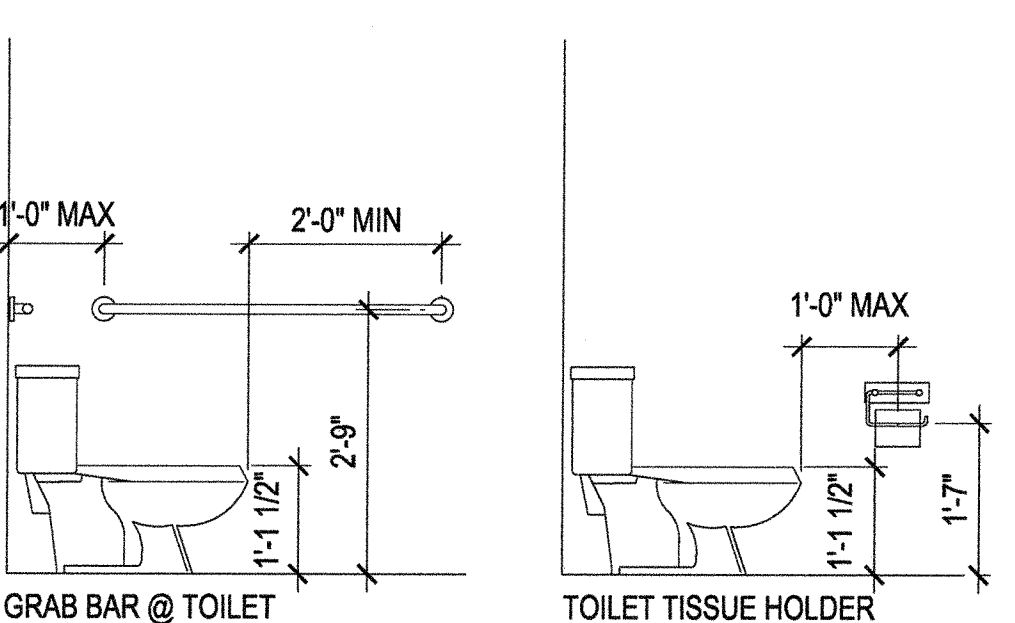
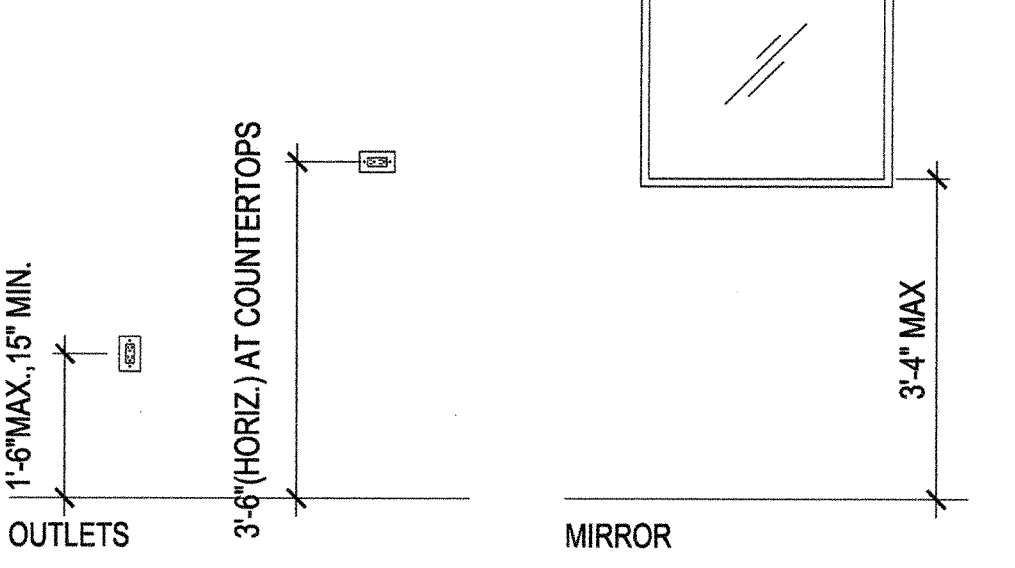
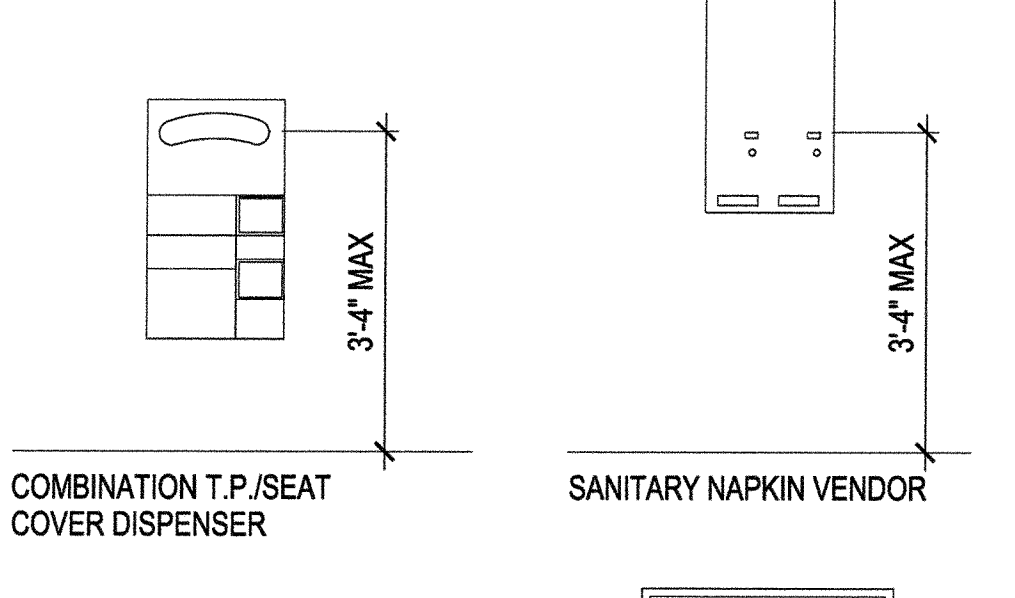
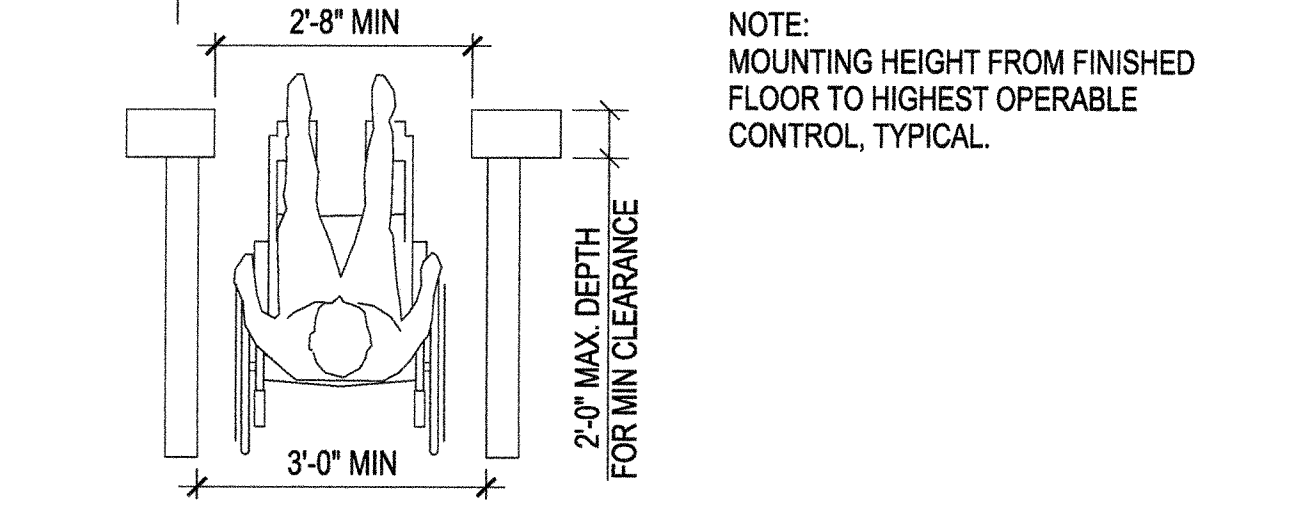
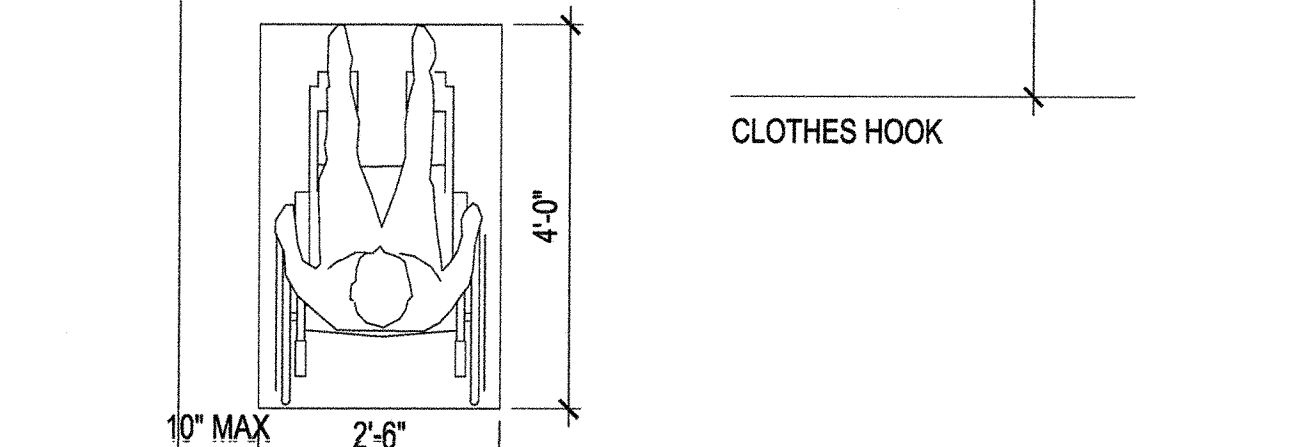
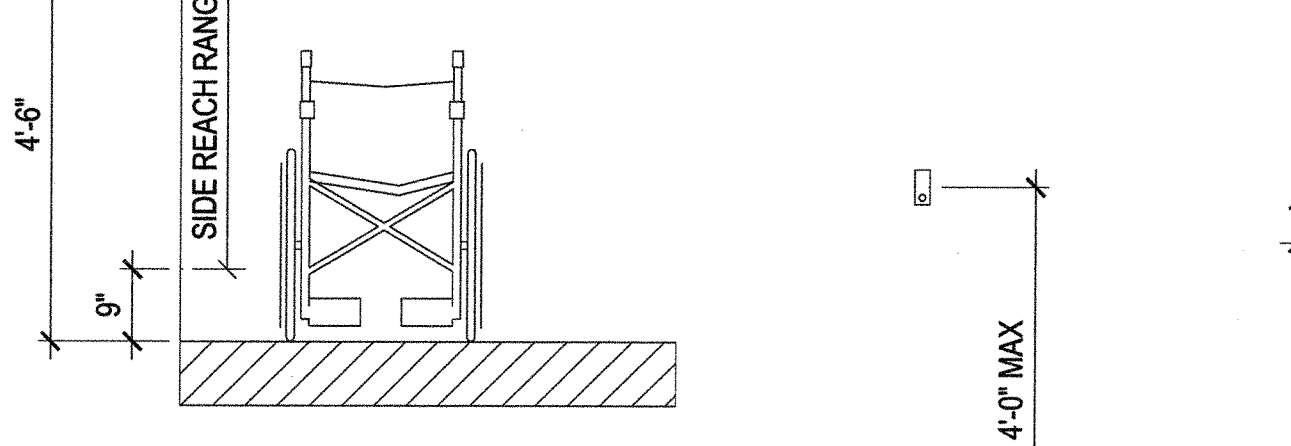
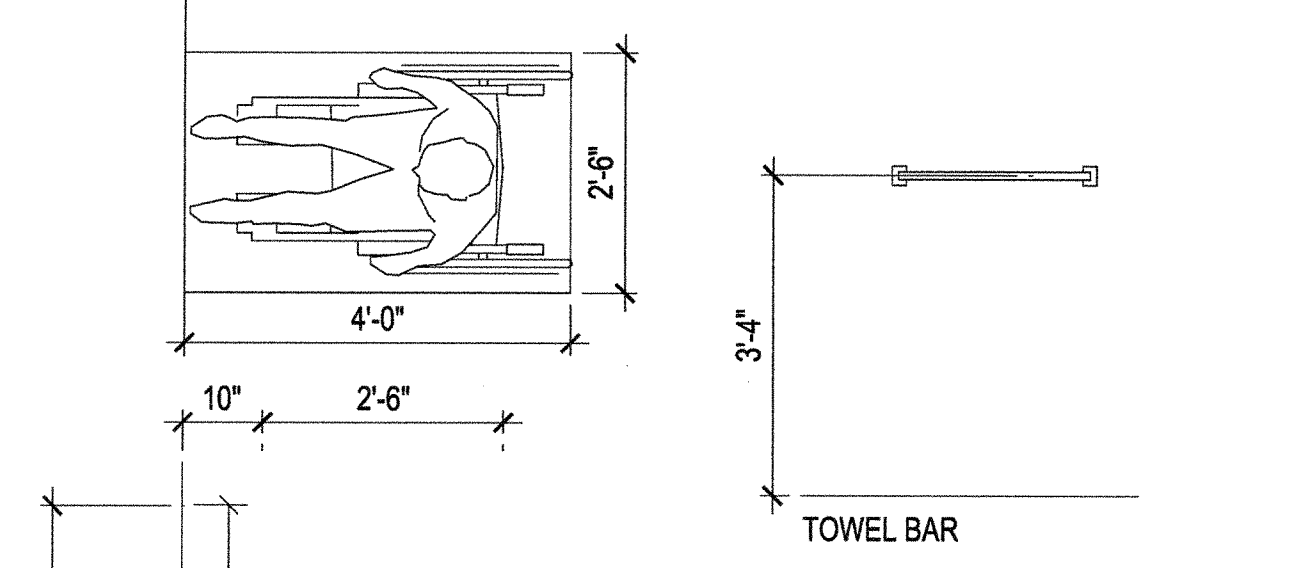
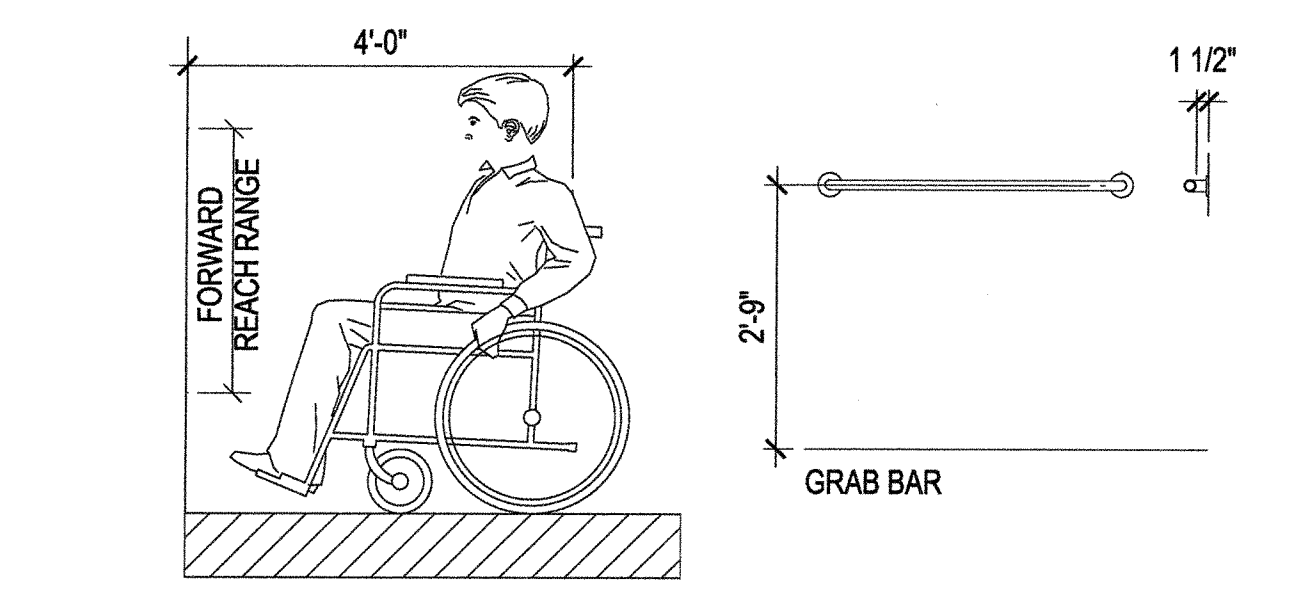
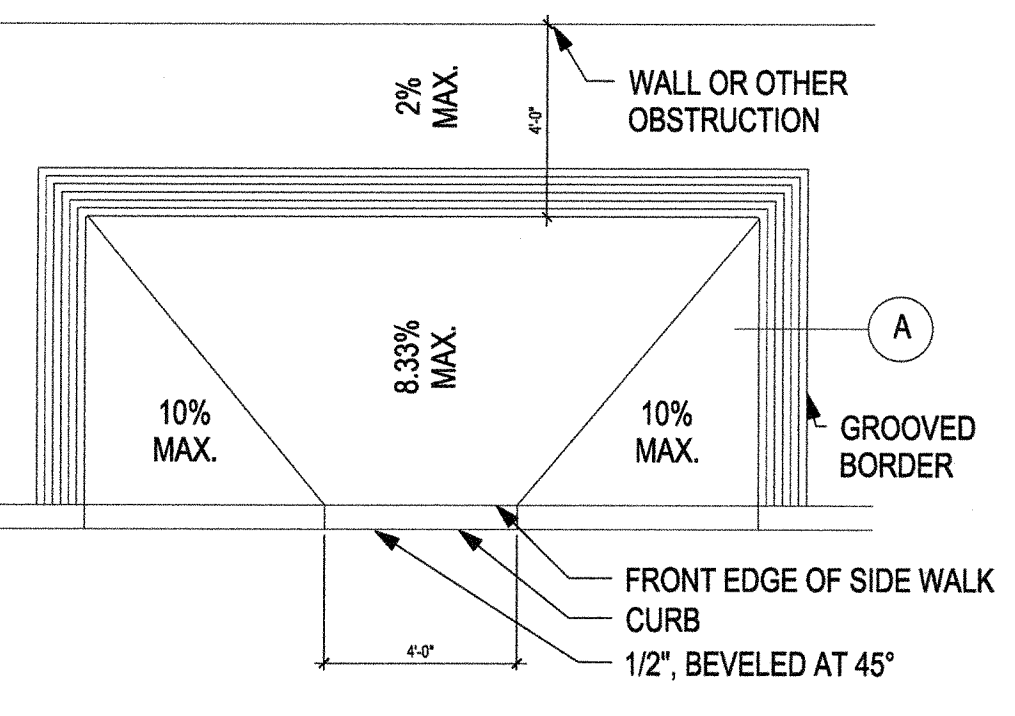
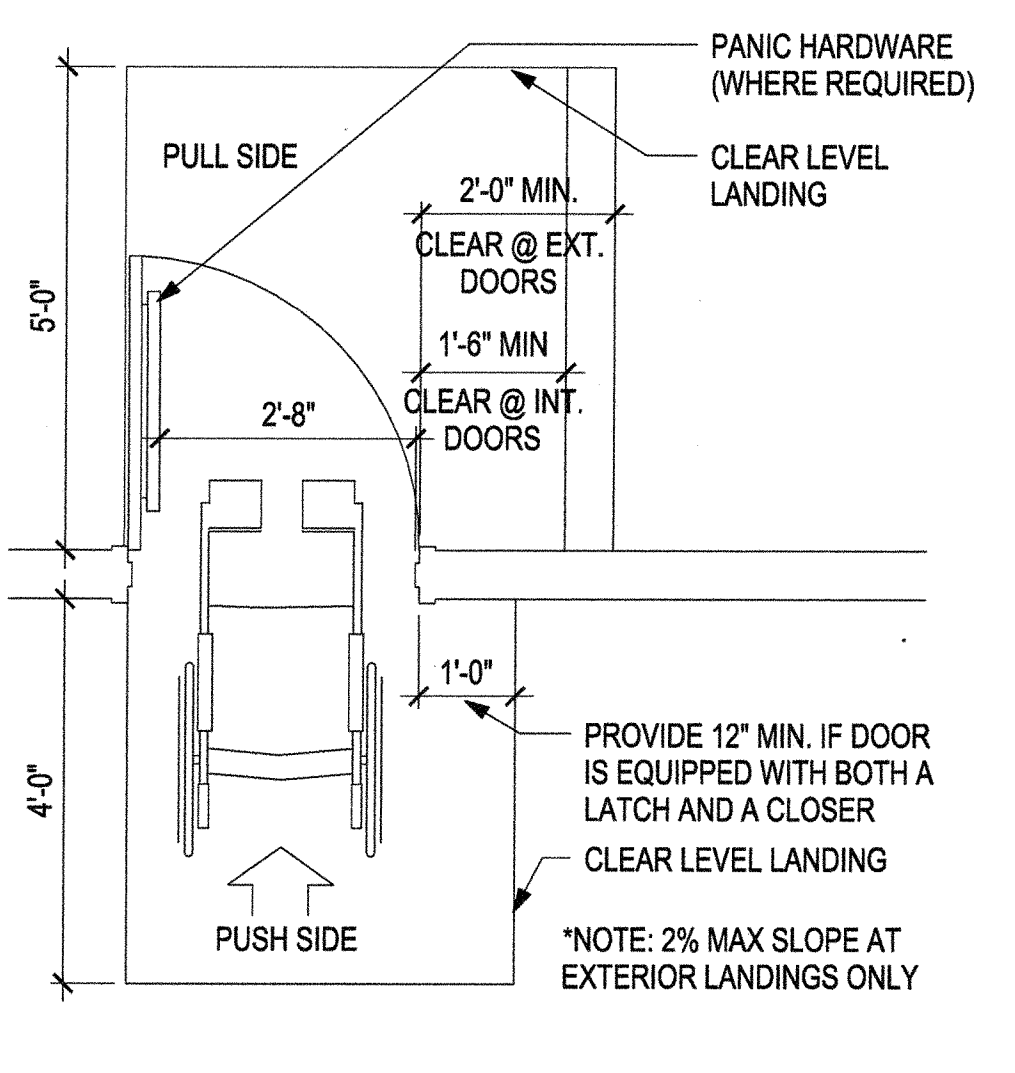
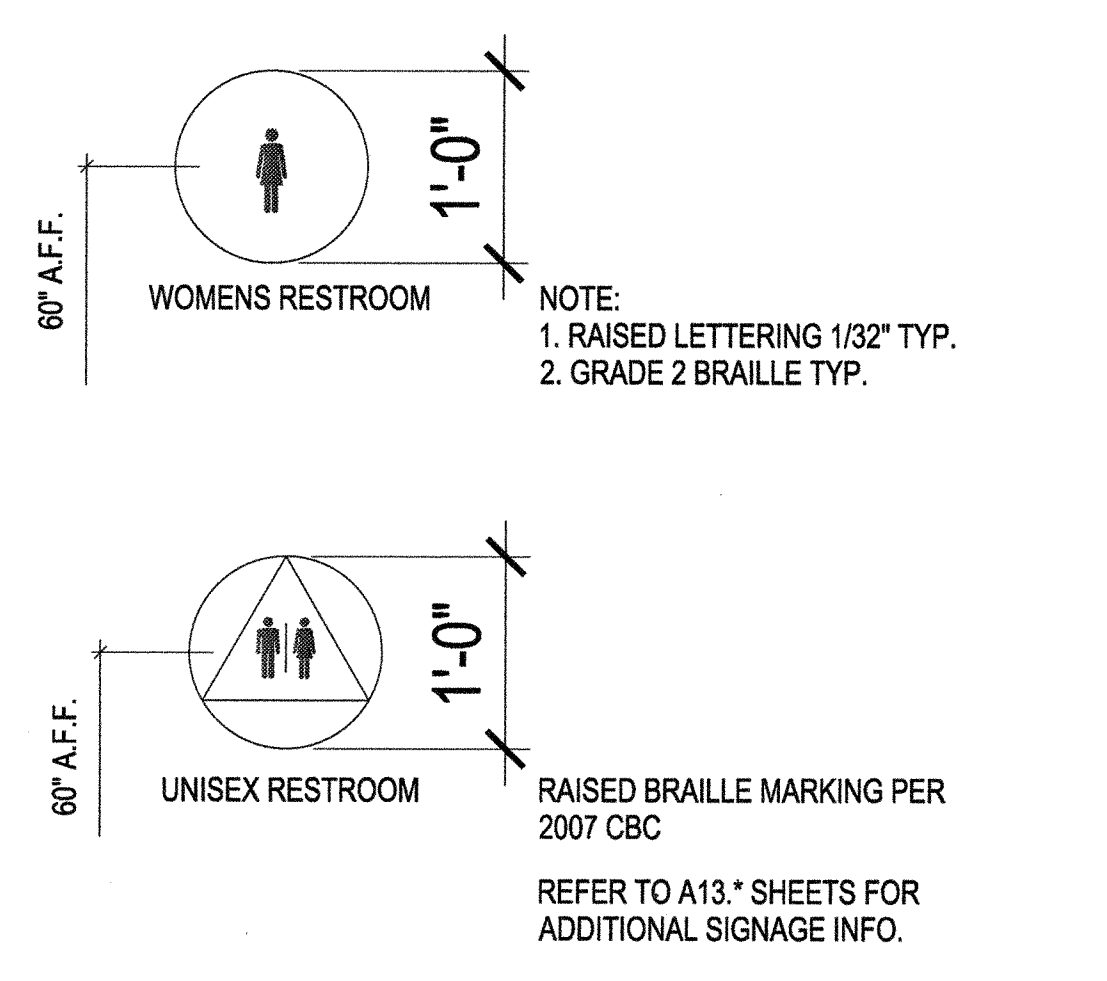
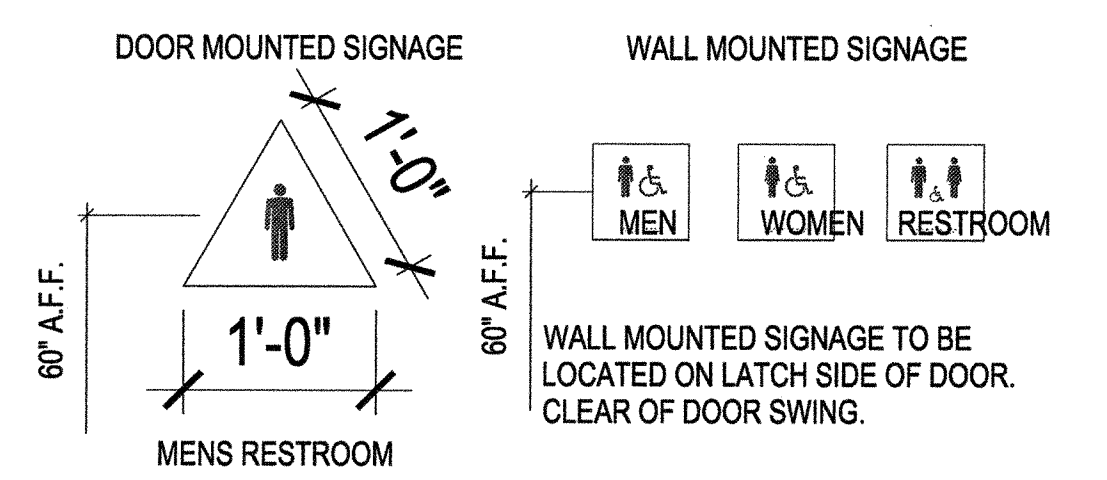
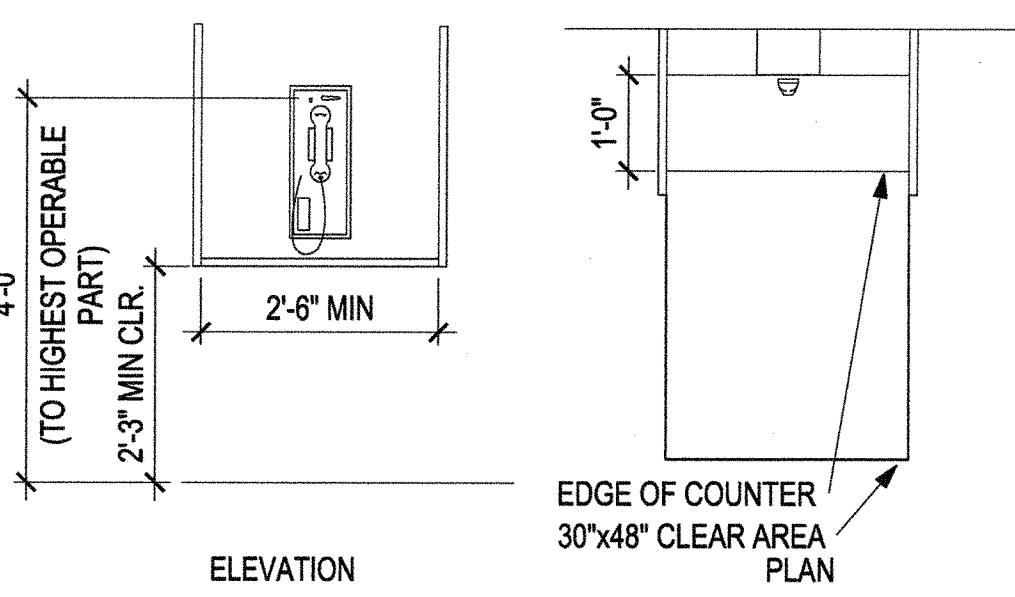
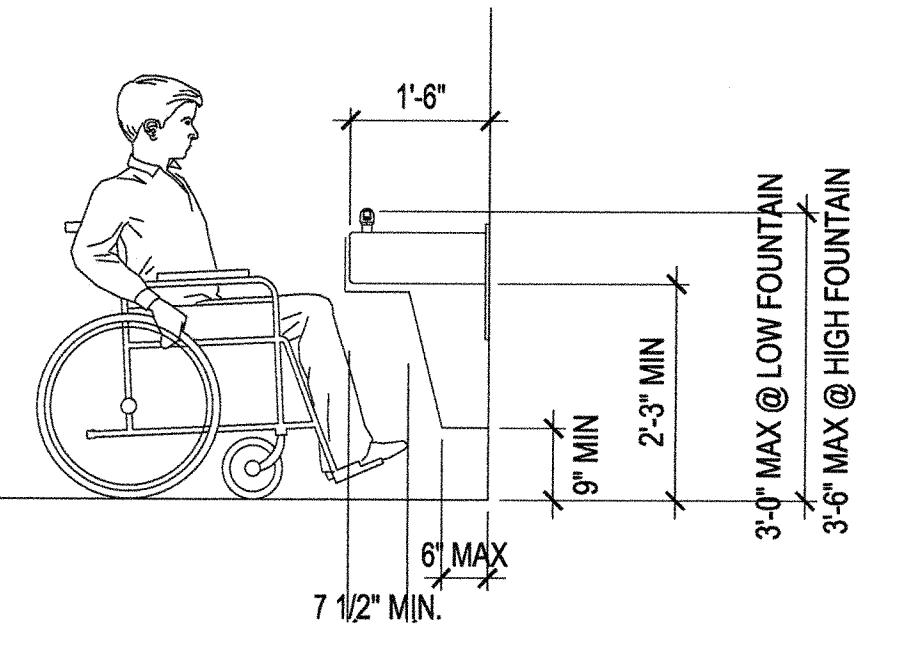
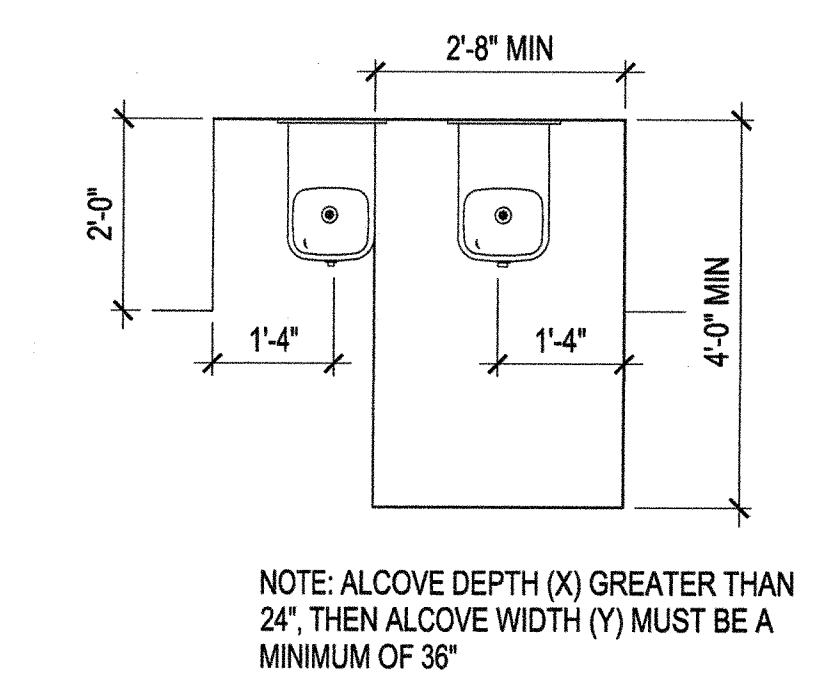
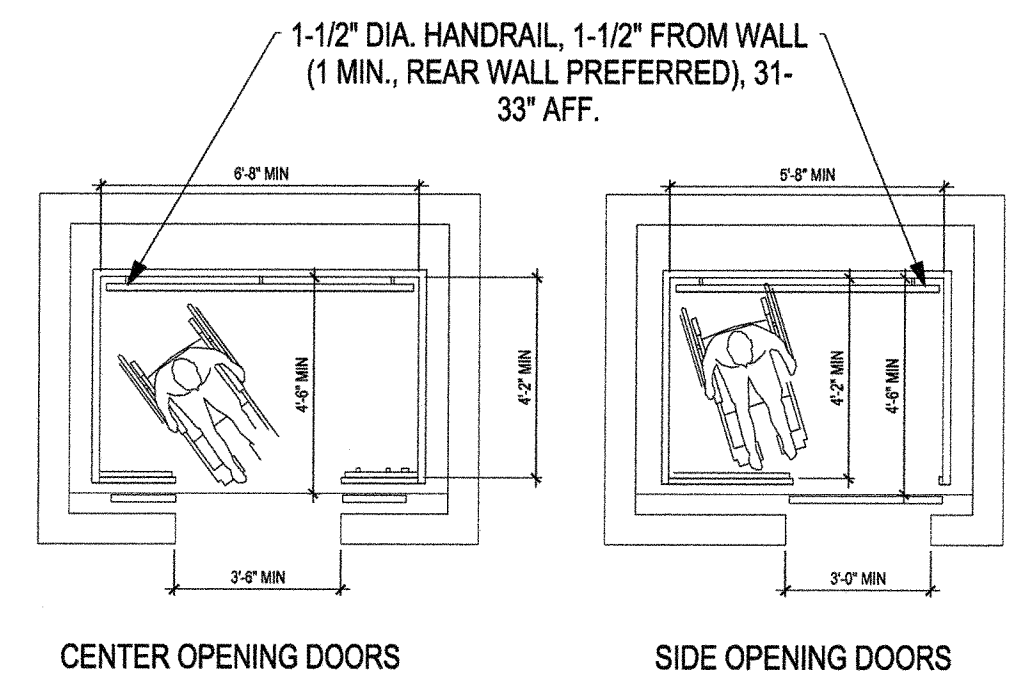
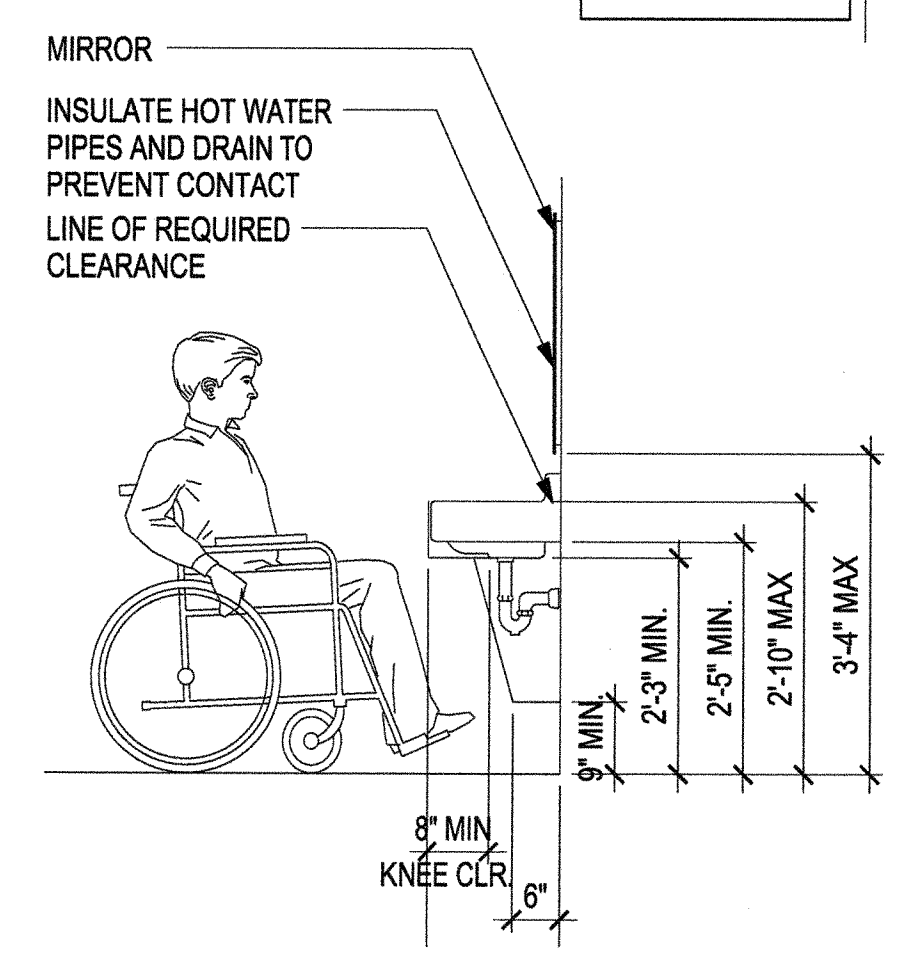
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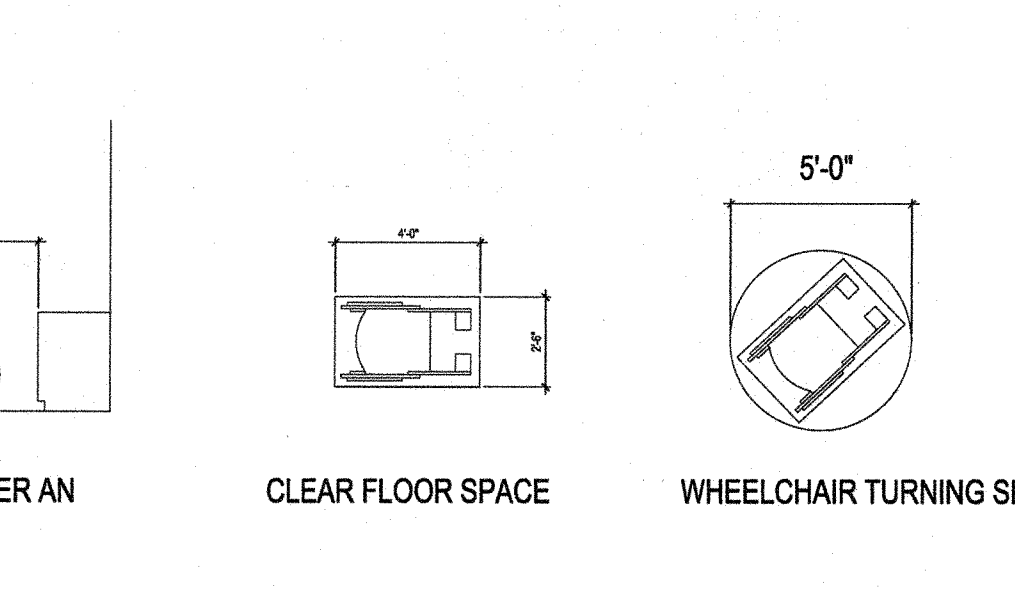
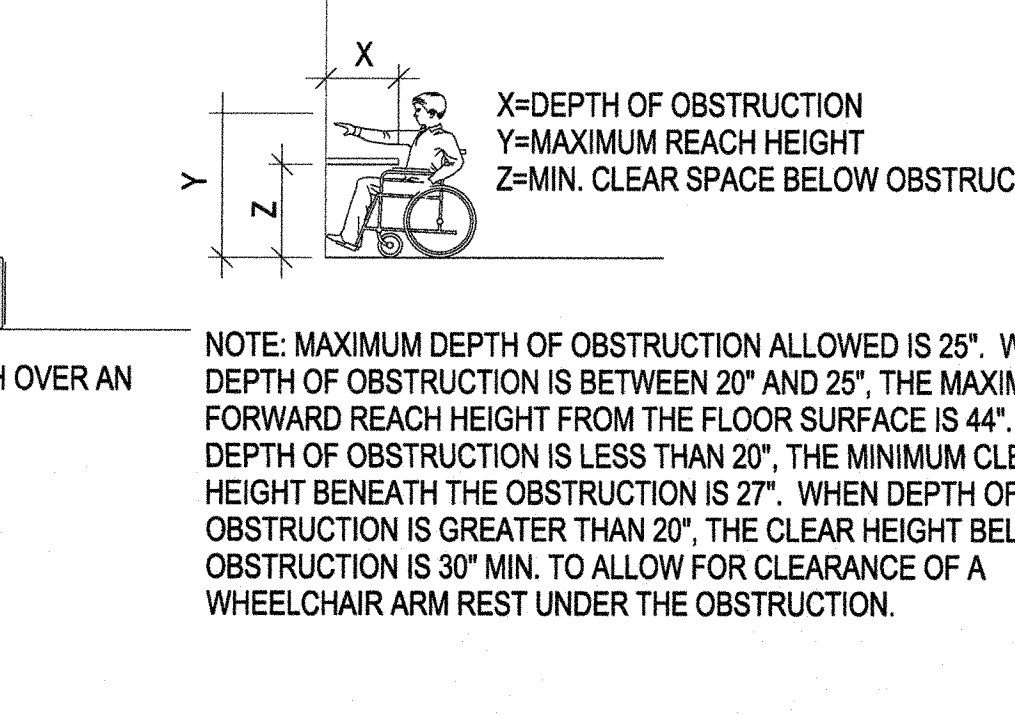
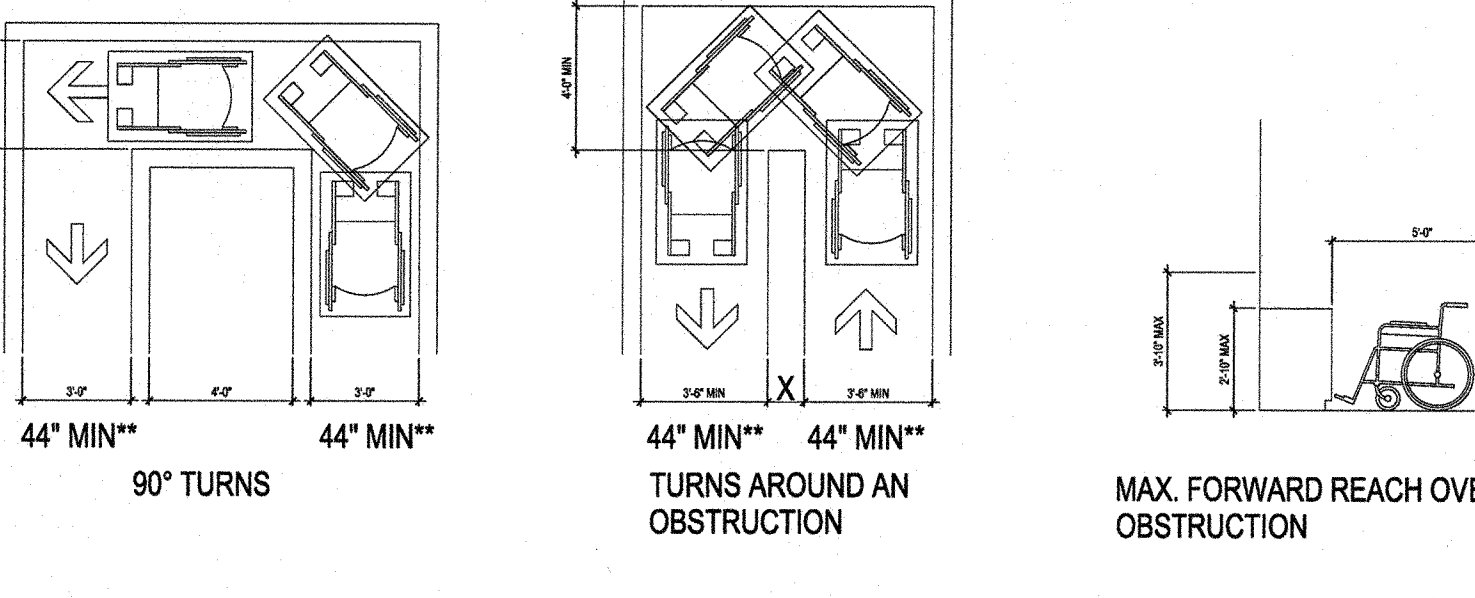
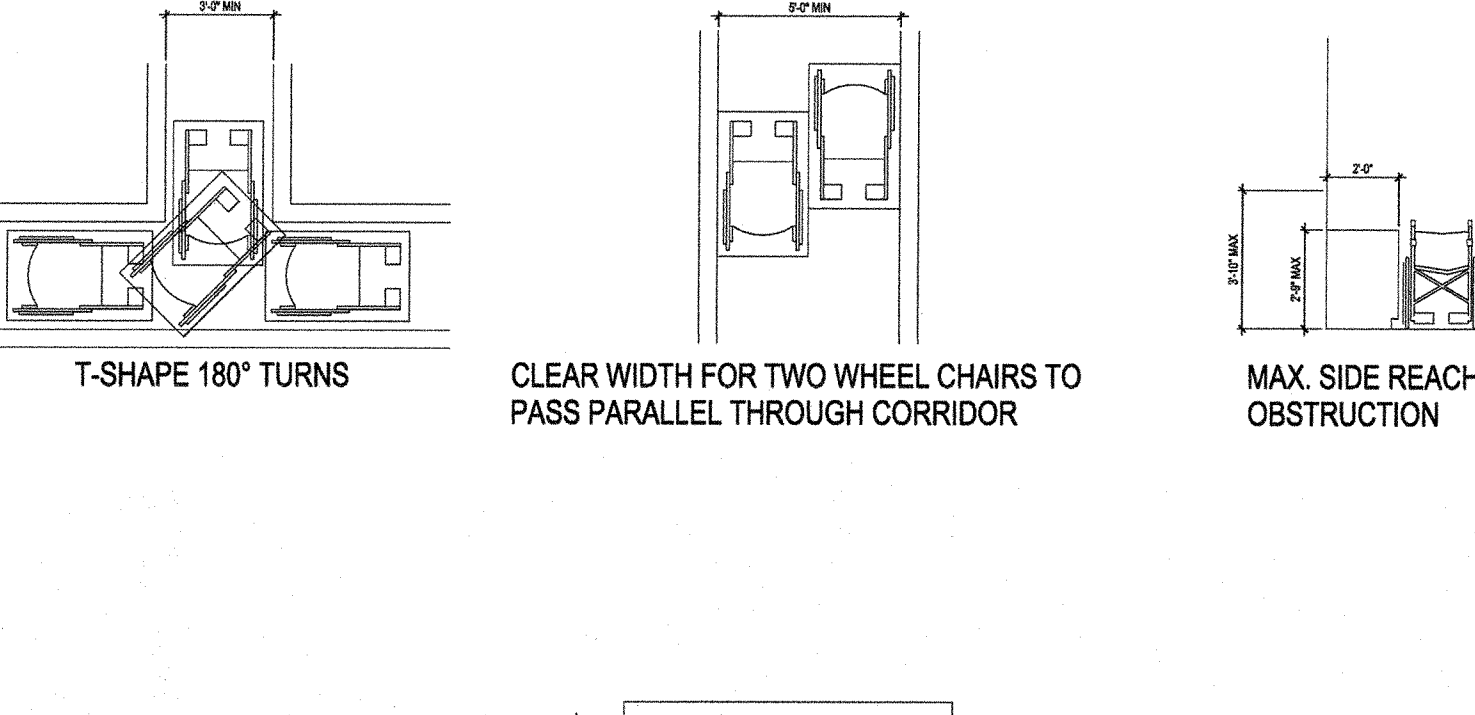


ELEVATOR LOBBY

NOTE: THE AUTOMATIC OPENING DEVICE IS ACTIVATED IF AN OBJECT PASSES THROUGH EITHER LINE A OR B. LINE A AND LINE B REPRESENT THE VERTICAL LOCATIONS OF THE DOOR REOPENING DEVICE NOT REQUIRING CONTACT.



ALLOWABLE RAMP LENGTHS			
SLOPE %	MAX. RISE	MAX. HORIZ. PROJECTION	
1:12	8.33%	30'-0"	
1:16	6.25%	40'-0"	
1:20	5.00%	50'-0"	



SHEET NOTES

GENERAL NOTES



1800 Solar Drive  
Oxnard, CA 93030



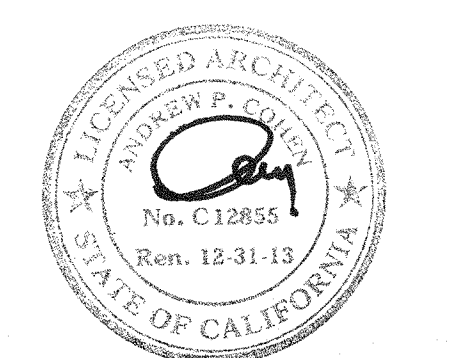
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Issue	Date & Issue Description	By	Check
01	07/31/12	ES/MC	SJ
Issued for Plan Check			
1	08/10/12	ES/MC	SJ
ISSUED FOR CONSTRUCTION			
3	10/05/12	ES/MC	SJ
REVISED FOR PLAN CHECK COMMENTS			
4	11/14/12	ES	SJ
REVISED FOR PLAN CHECK COMMENTS			
4	12/21/12	ES	SJ
PLAN CHECK			
6	01/22/13	ES	SJ
BULLETIN #4			
6	07/12/13	ES	SJ
BULLETIN #4			
6	02/21/13	ES	SJ
BULLETIN #4			

Seal/Signature



Project Name  
VERIZON V.I.P.

Project Number  
06.8740.000

CAD File Name  
A00-10

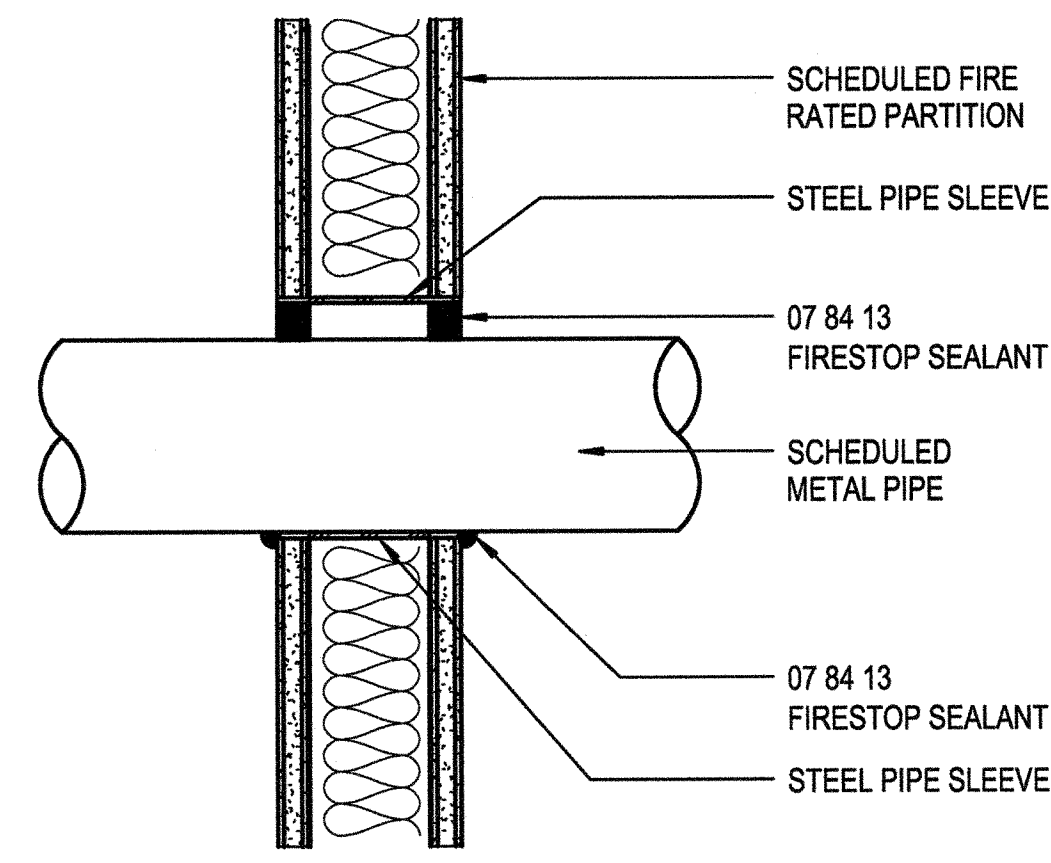
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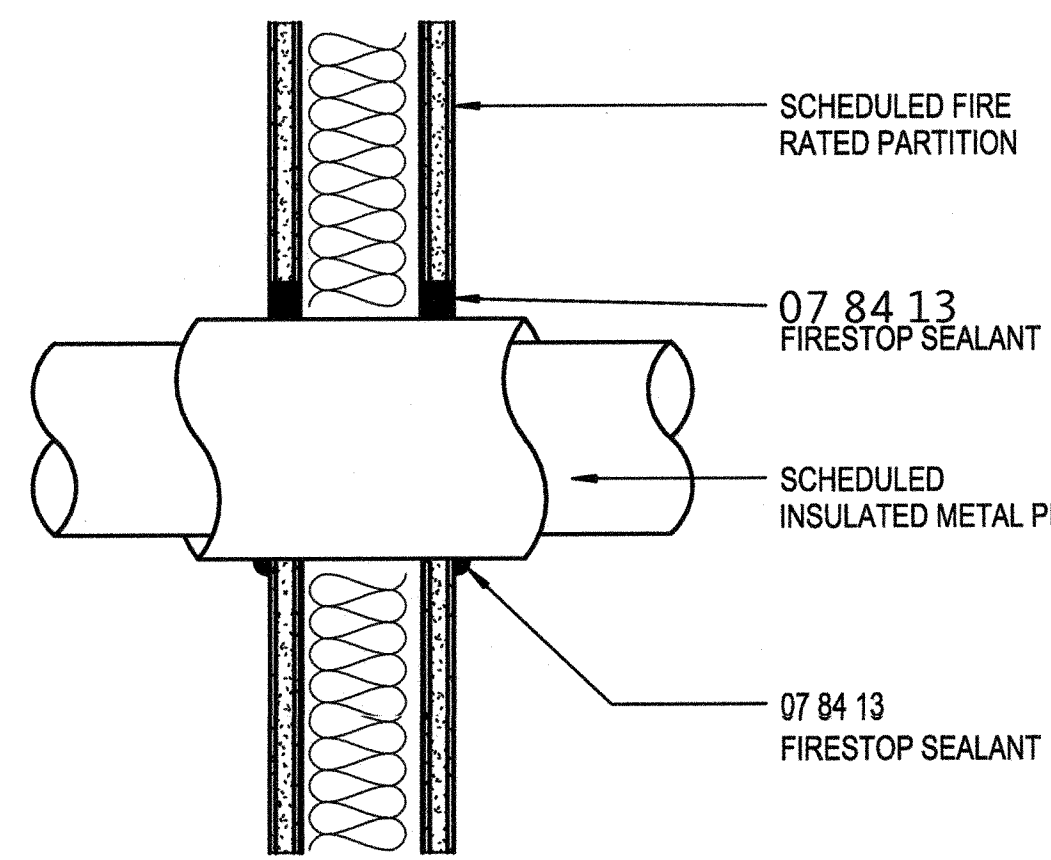
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NOTE: DIMENSIONS APPLY WHEN X<48"  
\*\*CORRIDORS WITH OCCUPANCY OF 9 OR LESS \*\*CORRIDORS WITH OCCUPANCY OF 9 OR MORE



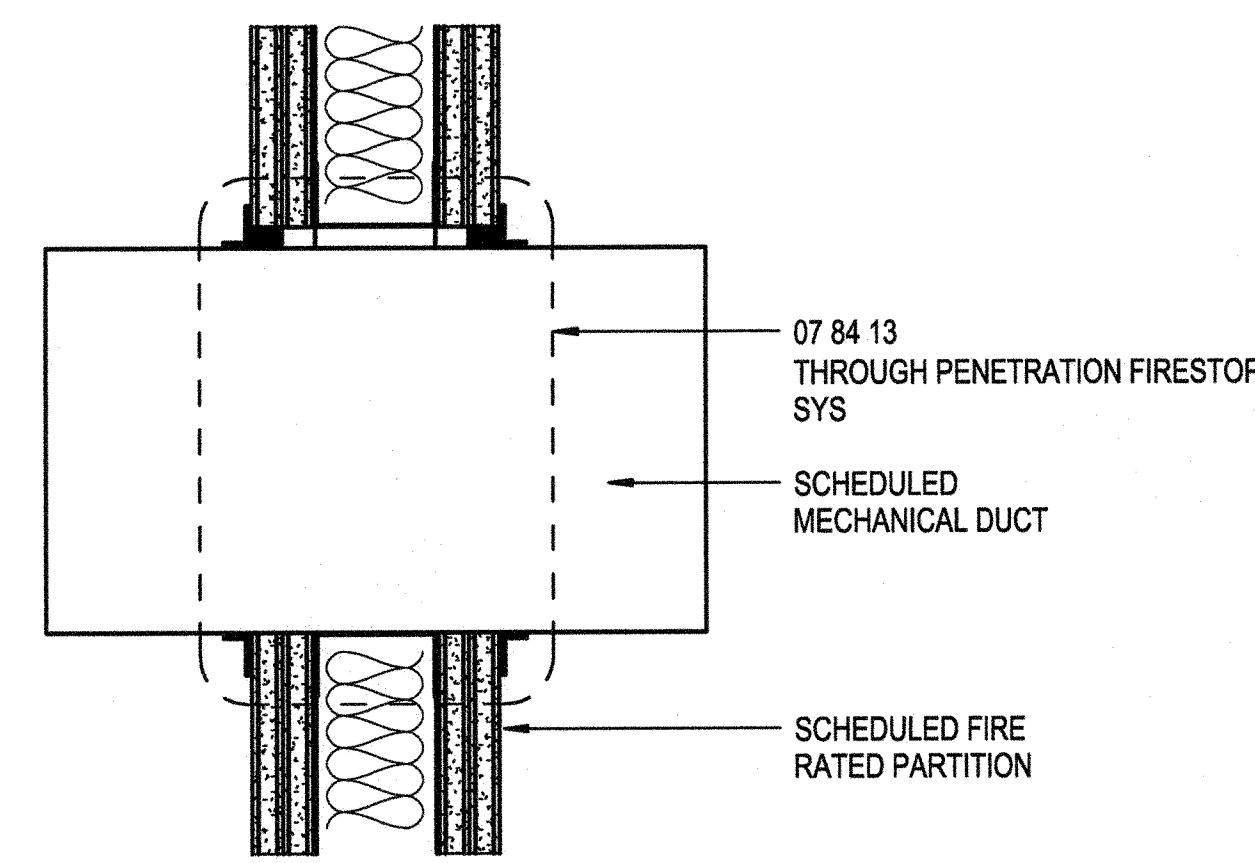
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### CONDUIT PENETRATION



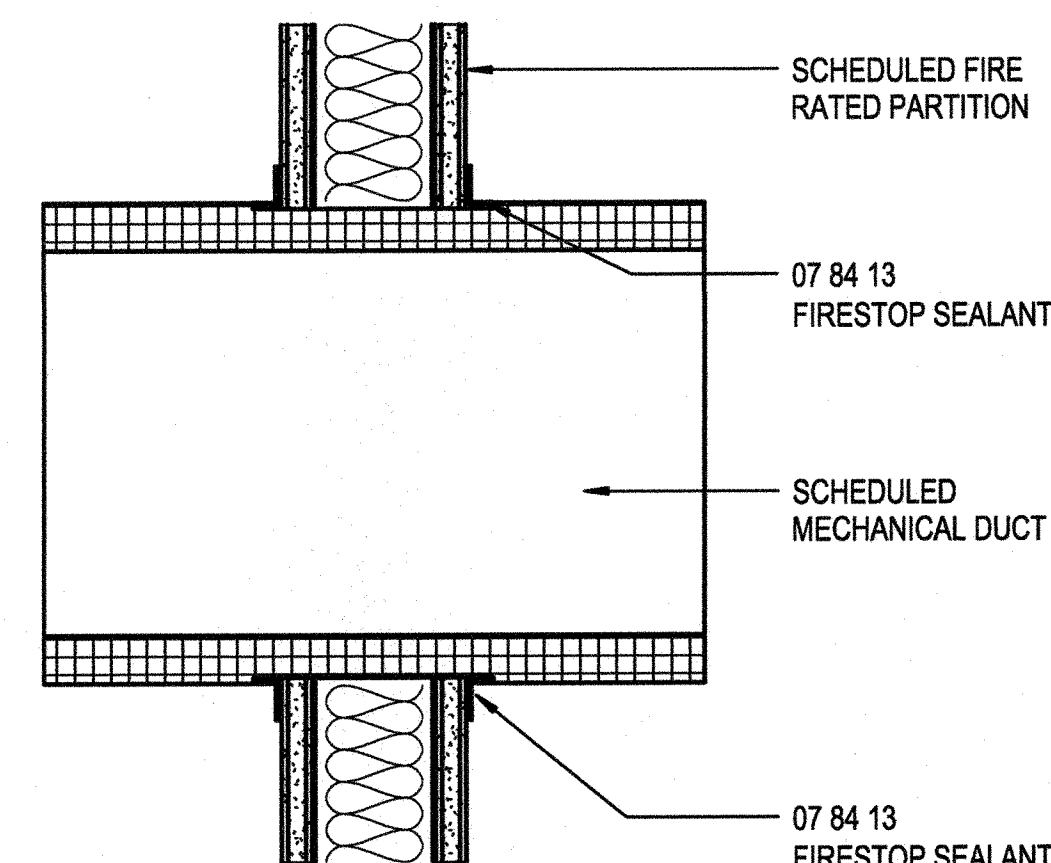
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### INSULATED CONDUIT PENETRATION



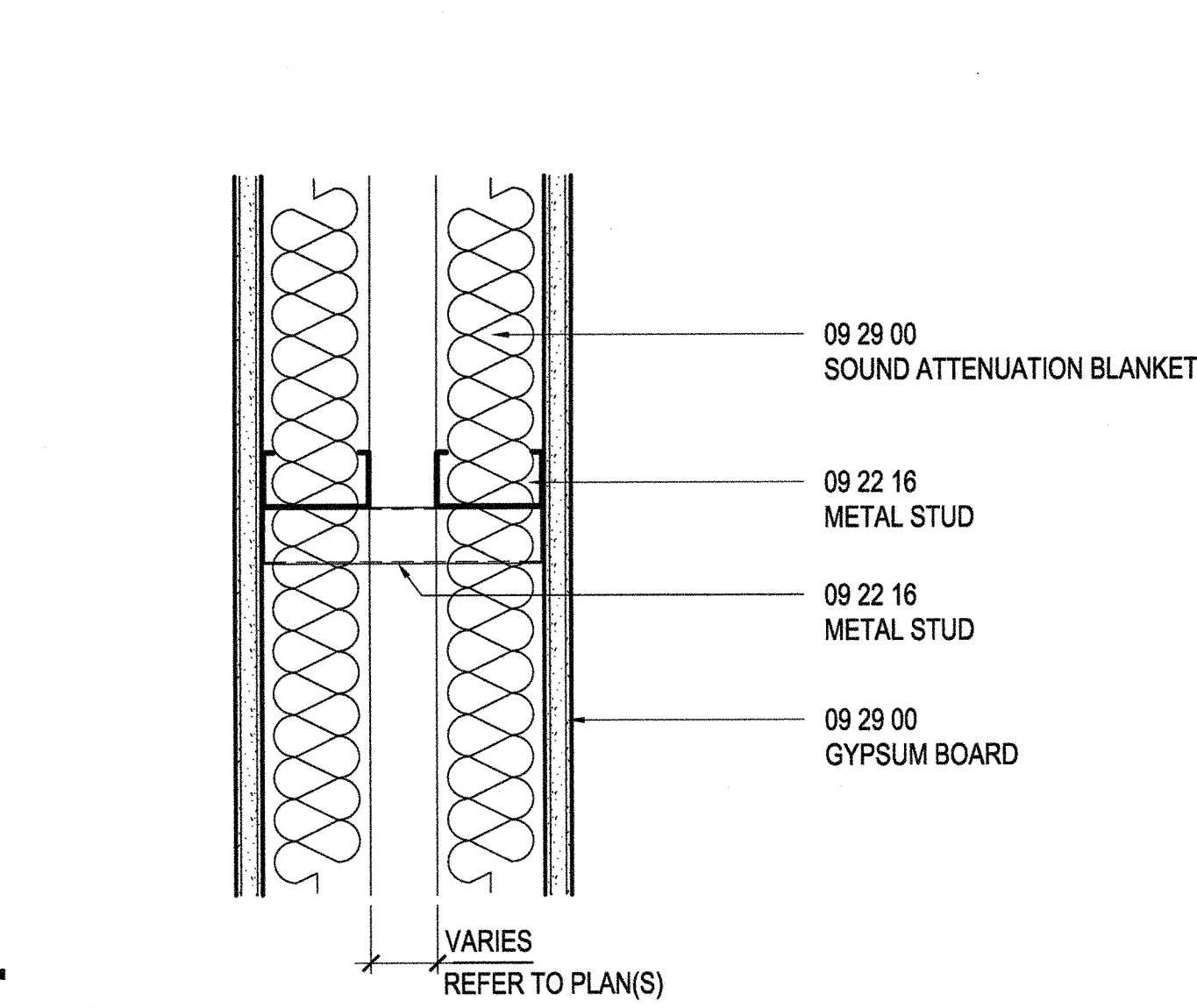
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### DUCT PENETRATION



(1-HOUR RATED BASIS OF DESIGN UL SYSTEM NO. WL-7151)

### INSULATED DUCT PENETRATION

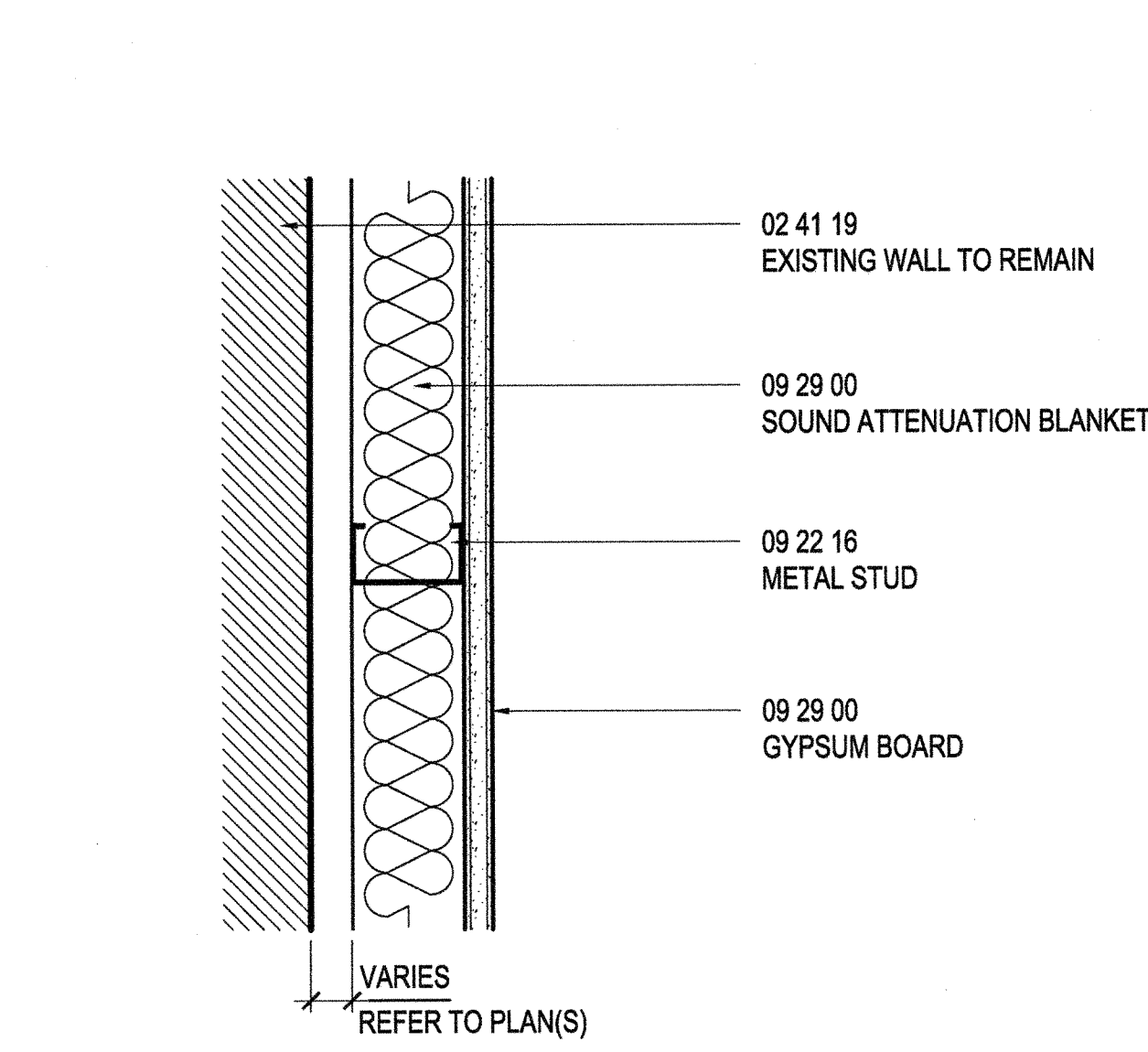


PARTITION TYPE	MTL THICKNESS	STUD SPACING	GYP BD THICKNESS	ATTENUATION THICKNESS	HEAD OF WALL DETAIL	BOTTOM OF WALL DETAIL	FIRE RATING	TESTED ASSEMBLY NUMBER	STC RATING
K3F	.032	16"	5/8"	3"	HWK1	BWK1	-	-	-

REMARKS:

### PARTITION PLAN TYPE K

SCALE: 3" = 1'-0"

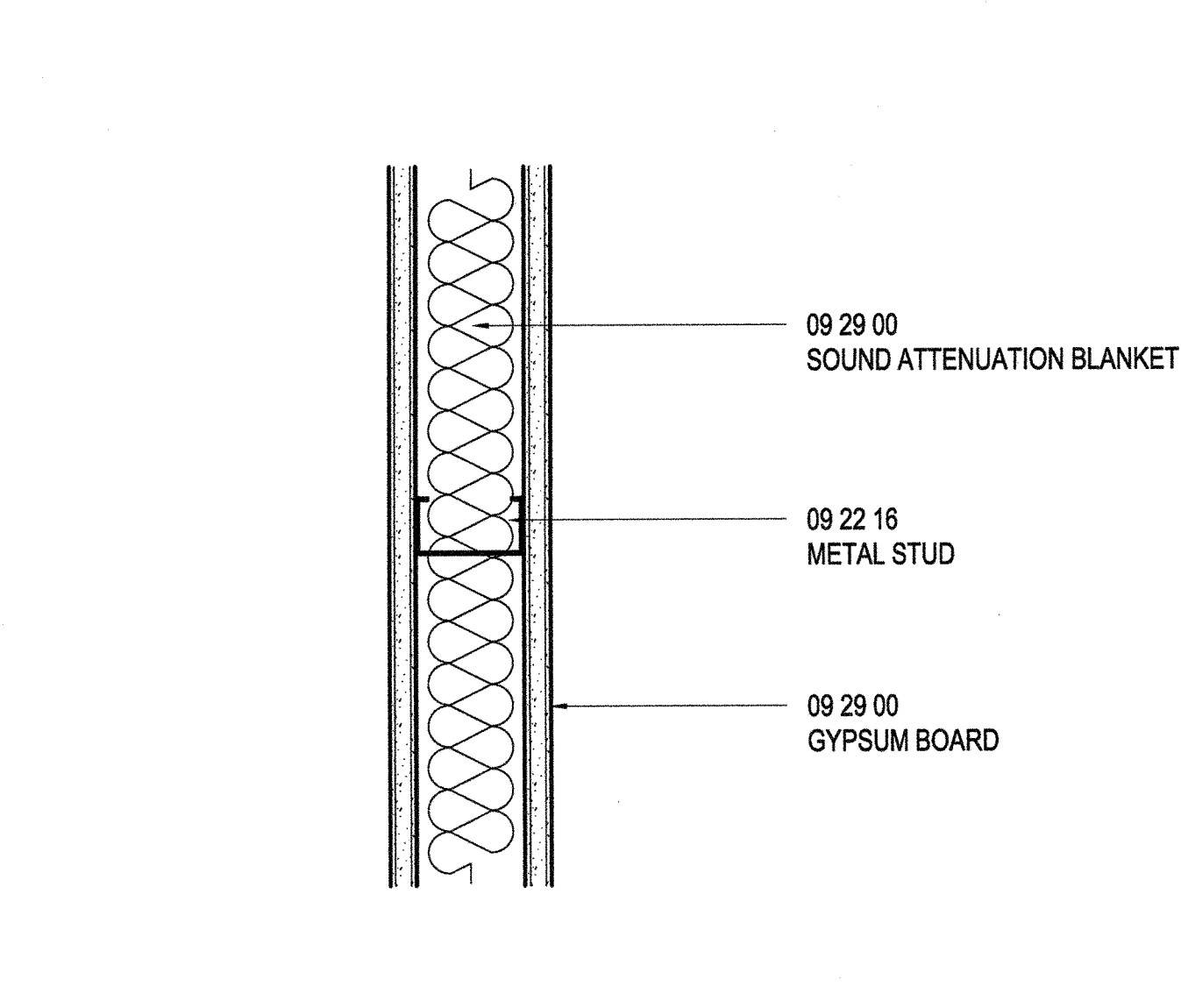


PARTITION TYPE	MTL THICKNESS	STUD SPACING	GYP BD THICKNESS	ATTENUATION THICKNESS	HEAD OF WALL DETAIL	BOTTOM OF WALL DETAIL	FIRE RATING	TESTED ASSEMBLY NUMBER	STC RATING
D3E	.032	16"	5/8"	3"	HWD1	BWD1	-	-	-

REMARKS:

### PARTITION PLAN TYPE D

SCALE: 3" = 1'-0"

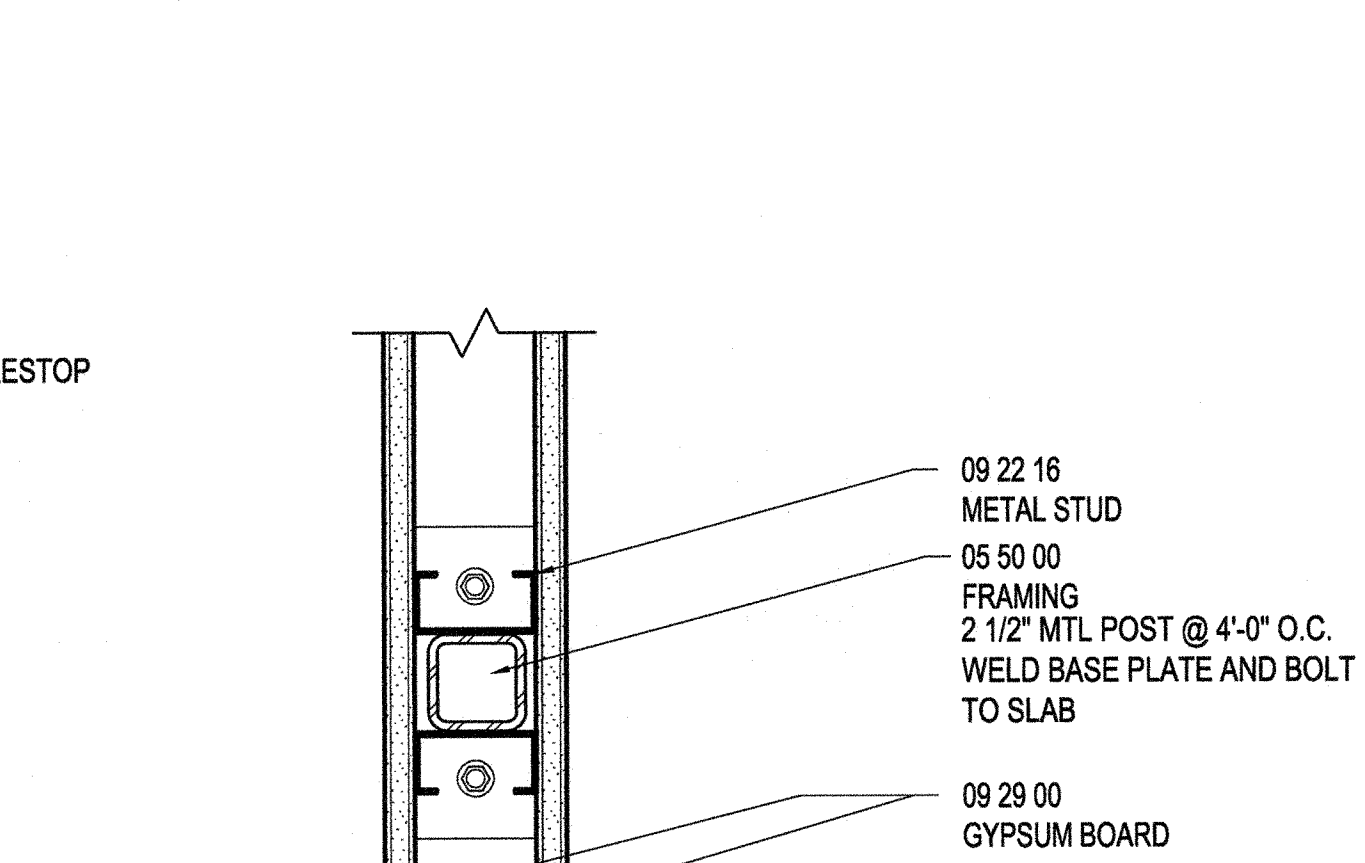


PARTITION TYPE	MTL THICKNESS	STUD SPACING	GYP BD THICKNESS	ATTENUATION THICKNESS	HEAD OF WALL DETAIL	BOTTOM OF WALL DETAIL	FIRE RATING	TESTED ASSEMBLY NUMBER	STC RATING
A3C	.032	16"	5/8"	3"	HWA3	BWA1	-	-	-
A3F	.032	16"	5/8"	3"	HWA1	BWA1	-	-	-
A3L	.032	16"	5/8"	3"	HWA10	BWA1	-	-	-
A3M	.032	16"	5/8"	3"	HWA11	BWA7	-	-	-
A3R	.032	16"	5/8"	3"	HWA2	BWA2	1	-	-

REMARKS:

### PARTITION PLAN TYPE A

SCALE: 3" = 1'-0"

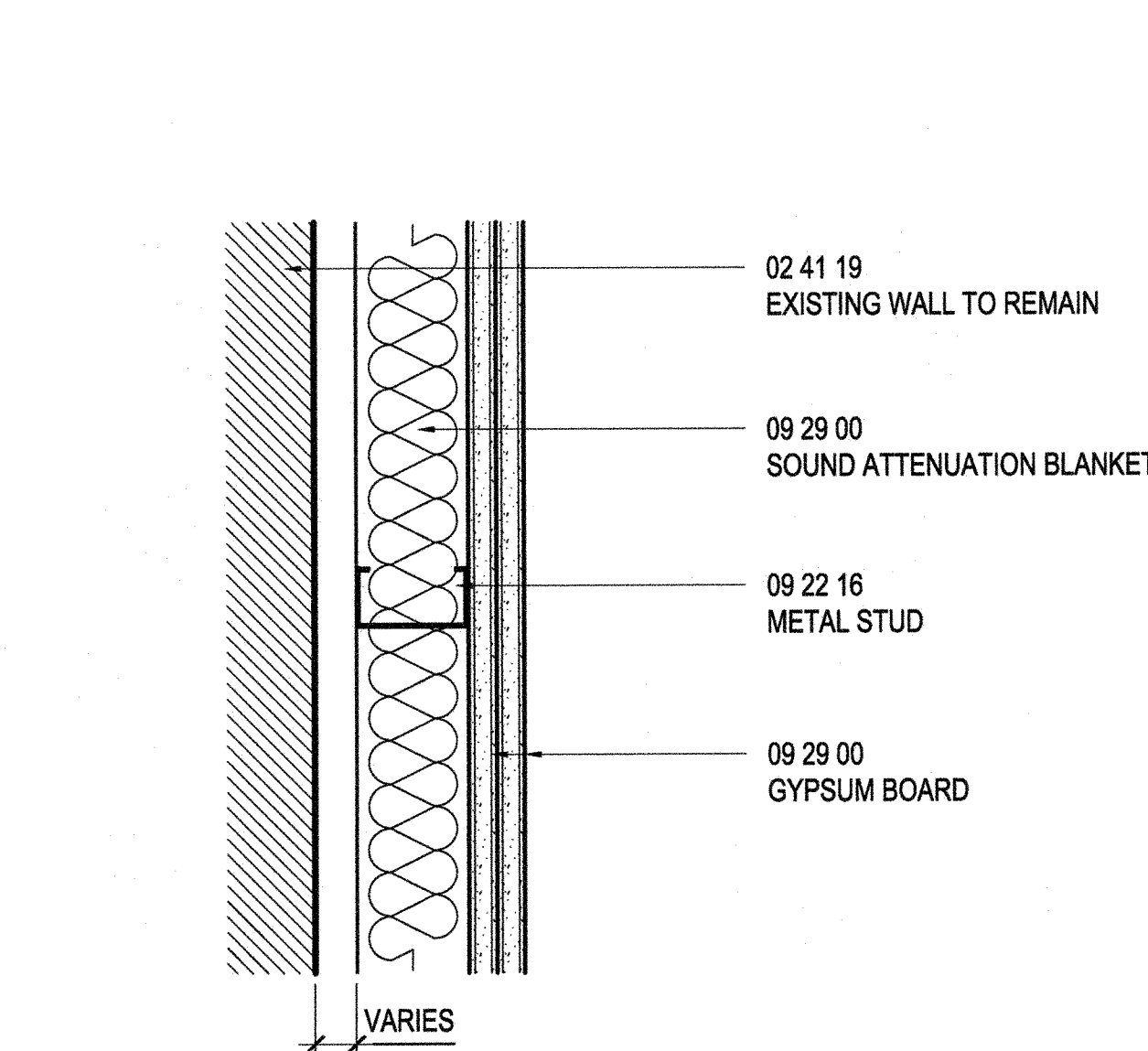


PARTITION TYPE	MTL THICKNESS	STUD SPACING	GYP BD THICKNESS	ATTENUATION THICKNESS	HEAD OF WALL DETAIL	BOTTOM OF WALL DETAIL	FIRE RATING	TESTED ASSEMBLY NUMBER	STC RATING
H2L	.032	16"	5/8"	-	HWA10	BWL1	-	-	-

REMARKS:

### PARTITION PLAN TYPE H

SCALE: 3" = 1'-0"

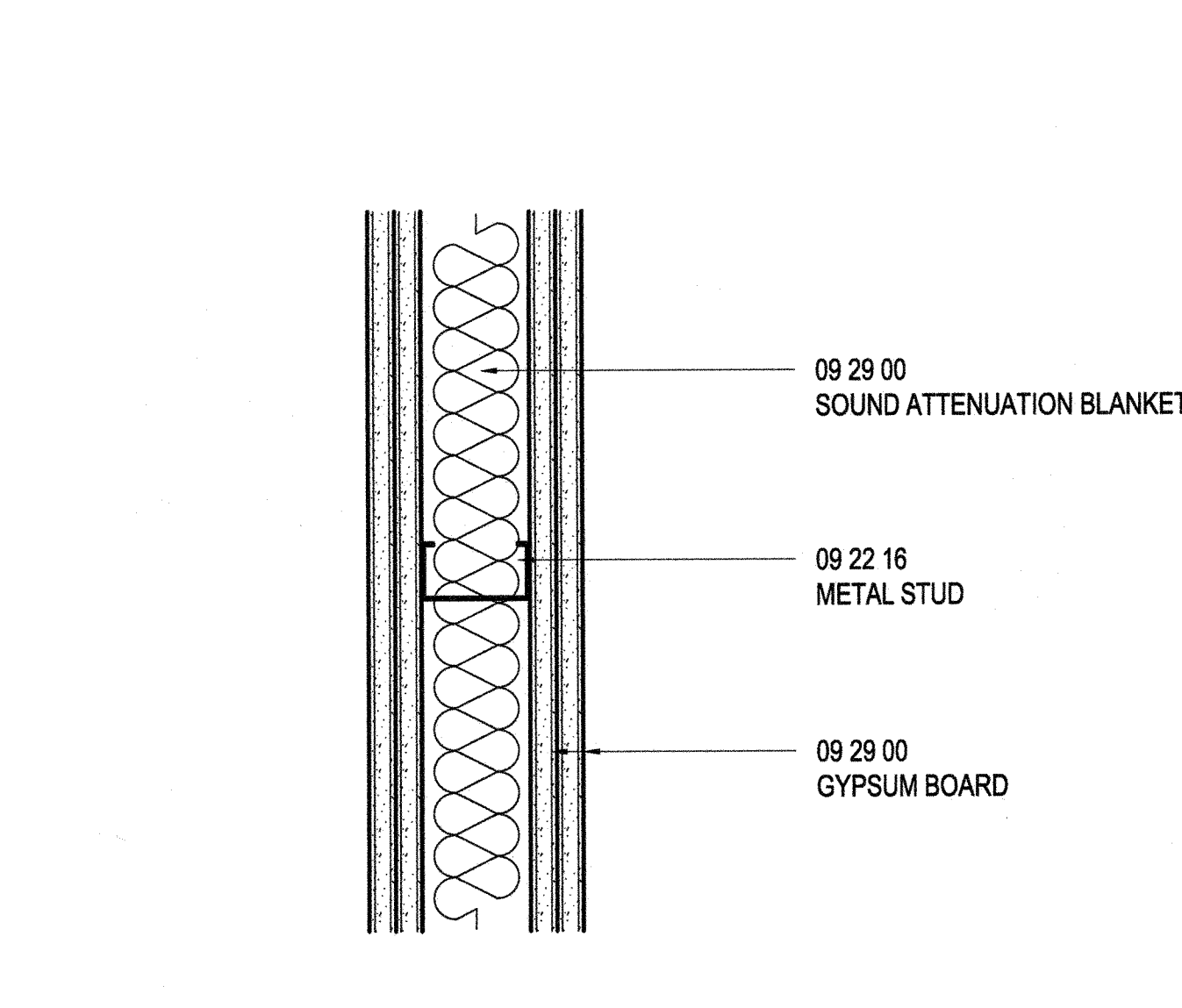


PARTITION TYPE	MTL THICKNESS	STUD SPACING	GYP BD THICKNESS	ATTENUATION THICKNESS	HEAD OF WALL DETAIL	BOTTOM OF WALL DETAIL	FIRE RATING	TESTED ASSEMBLY NUMBER	STC RATING
E3C	.032	16"	5/8"	3"	HWE3	BWE1	-	-	-

REMARKS:

### PARTITION PLAN TYPE E

SCALE: 3" = 1'-0"



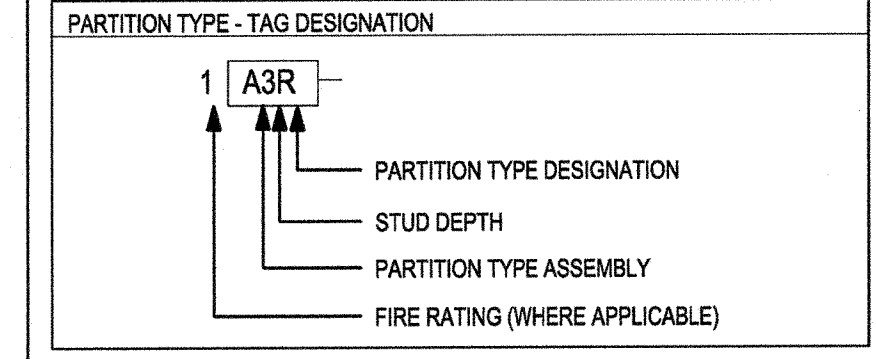
PARTITION TYPE	MTL THICKNESS	STUD SPACING	GYP BD THICKNESS	ATTENUATION THICKNESS	HEAD OF WALL DETAIL	BOTTOM OF WALL DETAIL	FIRE RATING	TESTED ASSEMBLY NUMBER	STC RATING
B3C	.032	16"	5/8"	3"	HWB3	BWB1	-	-	-

REMARKS:

### PARTITION PLAN TYPE B

SCALE: 3" = 1'-0"

### SHEET NOTES



STANDARD PARTITION ASSEMBLY SCHEDULE	TYPE	STRUCTURAL ASSEMBLY	SHEATHING	STUD	SHEATHING
A	1-LAYER	METAL C-STUD	1-LAYER	1-LAYER	1-LAYER
B	2-LAYERS	METAL C-STUD	2-LAYERS	1-LAYER	1-LAYER
C	2-LAYERS	METAL C-STUD	1-LAYER	1-LAYER	1-LAYER
D	1-LAYER	METAL C-STUD	NONE	1-LAYER	1-LAYER
E	2-LAYERS	METAL C-STUD	NONE	1-LAYER	1-LAYER
F	1-LAYER	HAT CHANNEL	NONE	1-LAYER	1-LAYER
G	1-LAYER	LAMINATED	NONE	1-LAYER	1-LAYER
H	1-LAYER	METAL C-H STUD	1-LAYER	1-LAYER	1-LAYER
J	2-LAYERS	METAL C-H STUD	1-LAYER	1-LAYER	1-LAYER
K	1-LAYER	METAL C-H STUD (2)	1-LAYER	1-LAYER	1-LAYER
L	2-LAYERS	METAL C-H STUD (2)	2-LAYERS	1-LAYER	1-LAYER
M	1-LAYER	MASONRY WALL	-	-	-
NZ	FOR FUTURE EXPANSION	-	-	-	-
WA	1-LAYER	WOOD STUD	1-LAYER	1-LAYER	1-LAYER
WB	2-LAYERS	WOOD STUD	2-LAYERS	1-LAYER	1-LAYER
WC	2-LAYERS	WOOD STUD	1-LAYER	1-LAYER	1-LAYER
WD	1-LAYER	WOOD STUD	NONE	1-LAYER	1-LAYER
WE	2-LAYERS	WOOD STUD	NONE	1-LAYER	1-LAYER
WK	1-LAYER	WOOD STUD (2)	1-LAYER	1-LAYER	1-LAYER
WL	2-LAYERS	WOOD STUD (2)	2-LAYERS	1-LAYER	1-LAYER

STUD DEPTH SCHEDULE	TAG NUMBER	MTL STUD DEPTH	MTL C-H STUD DEPTH	WOOD STUD DEPTH	CMU STUD DEPTH
0		NO FRAMING REQUIRED			
1	1.58"	2 1/2"	2 1/2"	11.58"	9.58"
2	2 1/2"	2 1/2"	2 1/2"	11.58"	9.58"
3	3.58"	4"	4"	13.58"	11.58"
4	4"	4"	4"	13.58"	11.58"
5	4"	4"	4"	13.58"	11.58"
6	4"	4"	4"	13.58"	11.58"
7	7/8" FURRING CHANNEL	-	-	-	-
8		-	-	-	7.58"

\* THE DEPTH DESIGNATIONS 1 AND 2 ARE USED FOR 9.58" AND 11.58" BLOCKS RESPECTIVELY.

PARTITION TYPE DESIGNATION SCHEDULE	TYPE	DESCRIPTION
F	1	FULL HEIGHT PARTITION
C	1	6" ABOVE FINISHED CEILING-SLAB TO 6" ABOVE
W	1	WATER RESISTANT GYPSUM BOARD-SLAB TO SLAB
R	1	RATED WALL
A	1	RAISED FLOOR-SLAB
B	1	RAISED FLOOR-6" ABOVE CEILING
D	1	RAISED FLOOR-UNDERSIDE OF CEILING
E	1	SLAB-UNDERSIDE OF CEILING
L	1	LOW HEIGHT PARTITION

### GENERAL NOTES

- SPECIAL INSPECTION REQUIRED FOR REPAIR OF SPRAY ON FIREPROOFING AT ALL NEW ATTACHMENTS OF WALLS, HANGERS, ETC.



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Fax: 310.473.7468

Issue	Date	Issue Description	By	Check
01	06/22/12	PROGRESS SET	SJ	SJ
02	07/31/12	ISSUED FOR PLAN CHECK	ES/MC	SJ
1	03	ISSUED FOR CONSTRUCTION	ES/MC	SJ
2	04	BULLETIN #1	ES/MC	SJ
3	05	REVISED FOR PLAN CHECK COMMENTS	ES	SJ
4	06	PLAN CHECK	ES	SJ
5	07	BULLETIN #3	ES	SJ
6	08	BULLETIN #4	ES	SJ

Seal/Signature



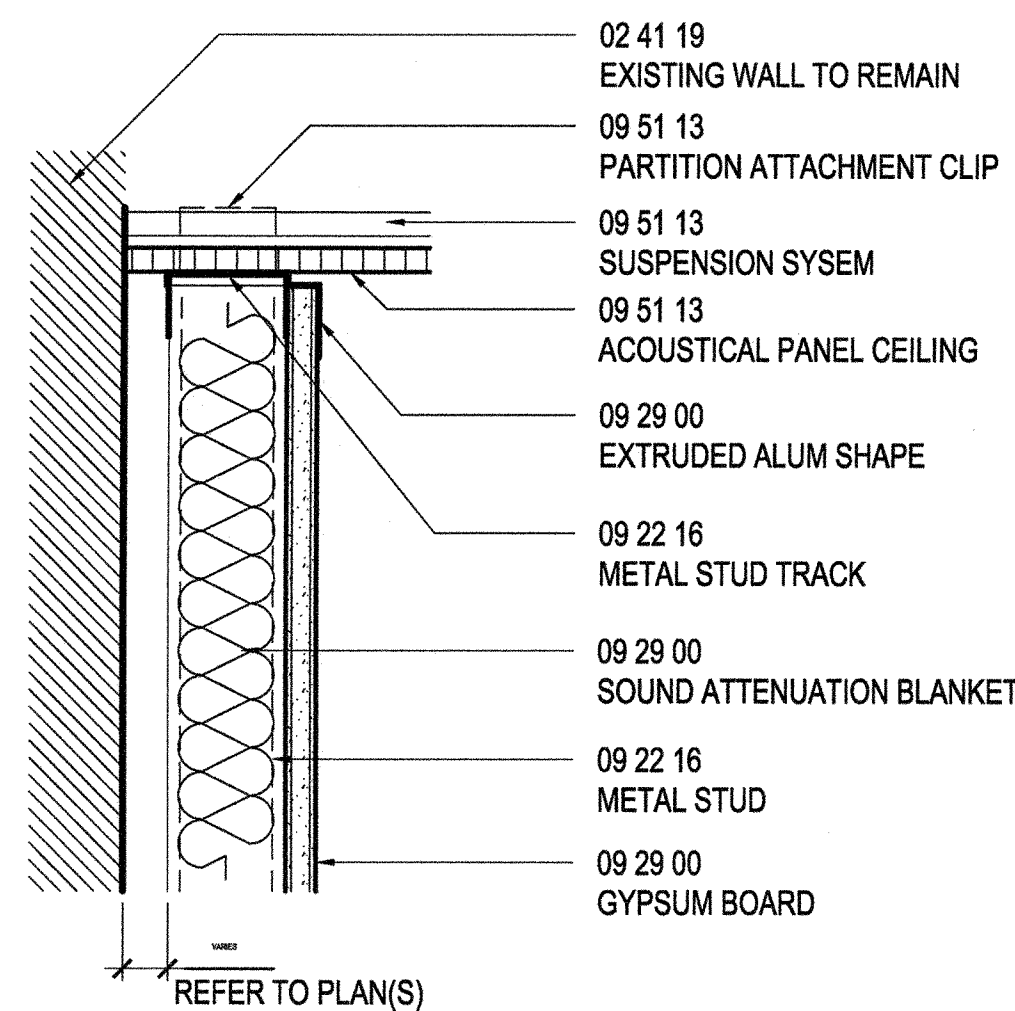
Project Name  
VERIZON V.I.P.

Project Number  
06.8740.000  
CAD File Name  
A00-20  
Description  
PARTITION TYPES

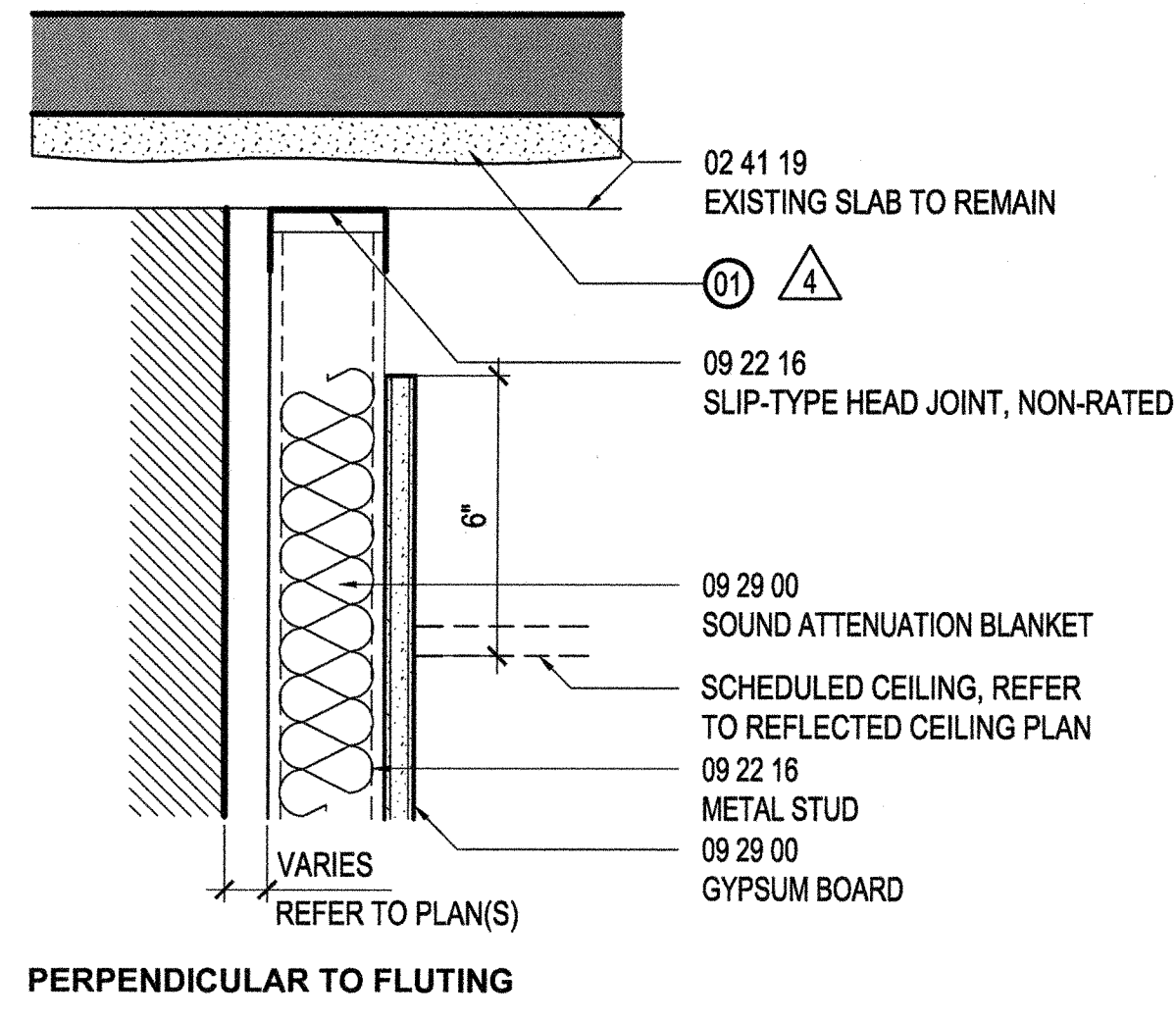
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A00.20\_SD

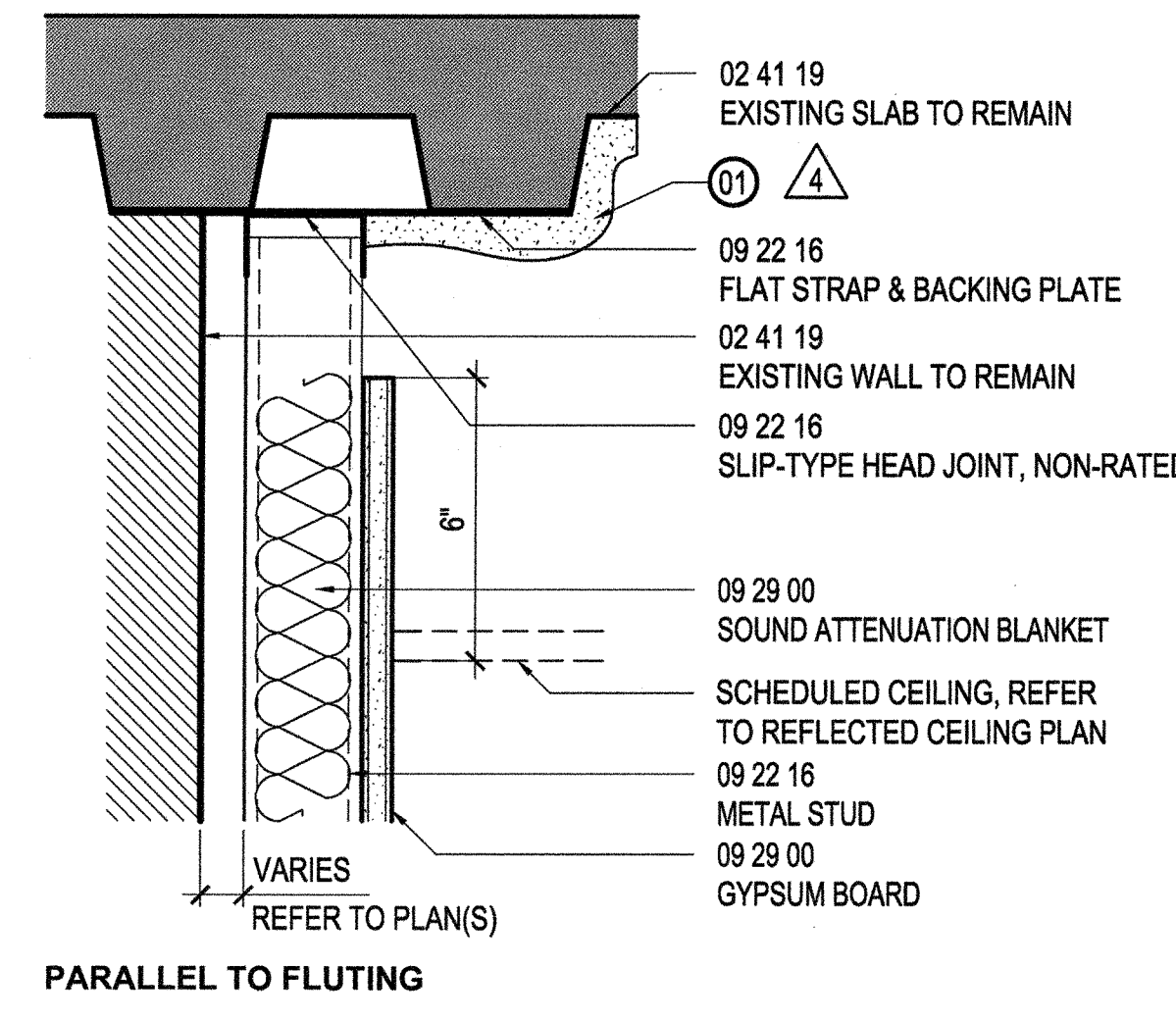
©2012 Gensler



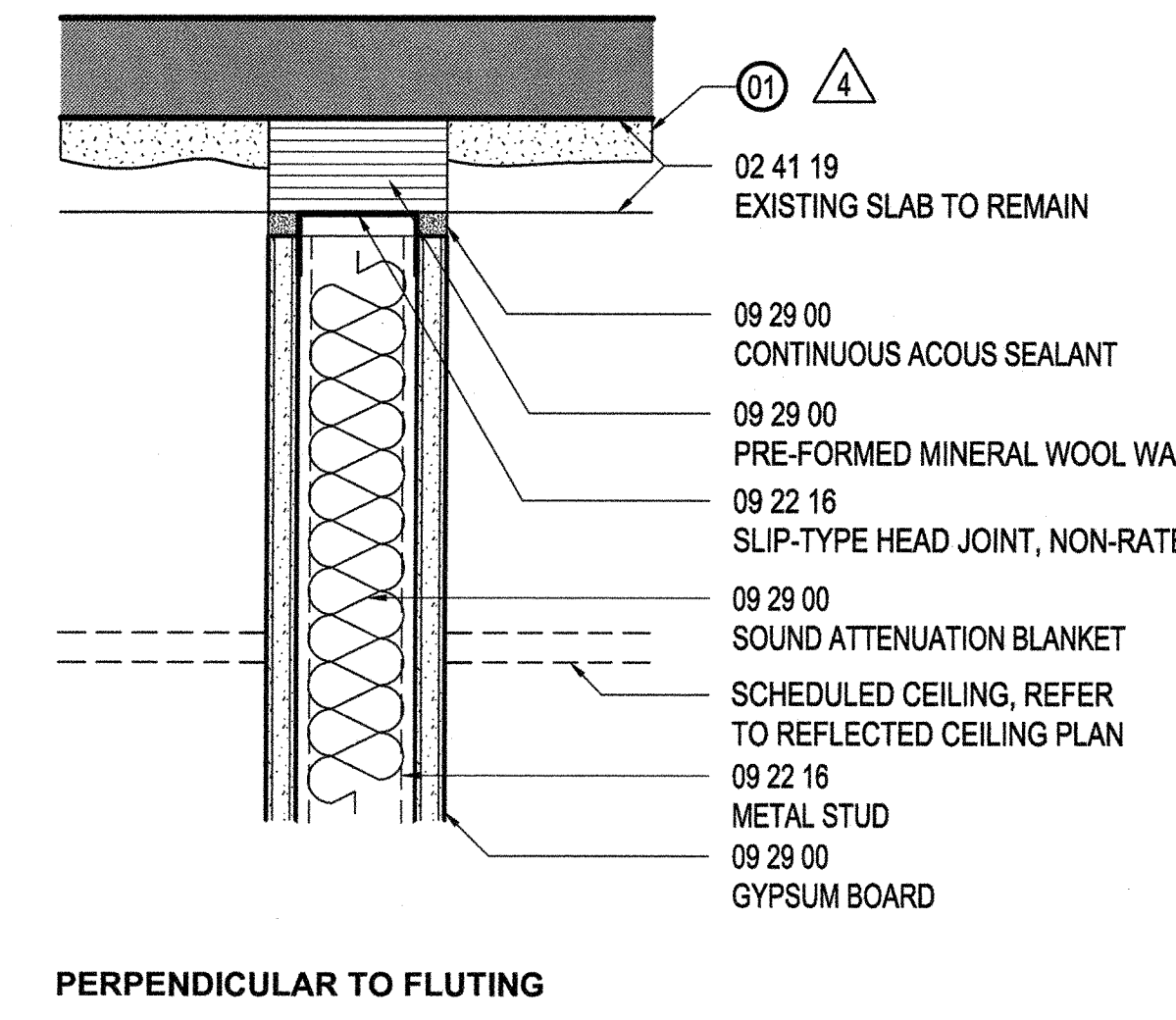
**HEAD OF WALL DETAIL HWD7**  
SCALE: 3"=1'-0"



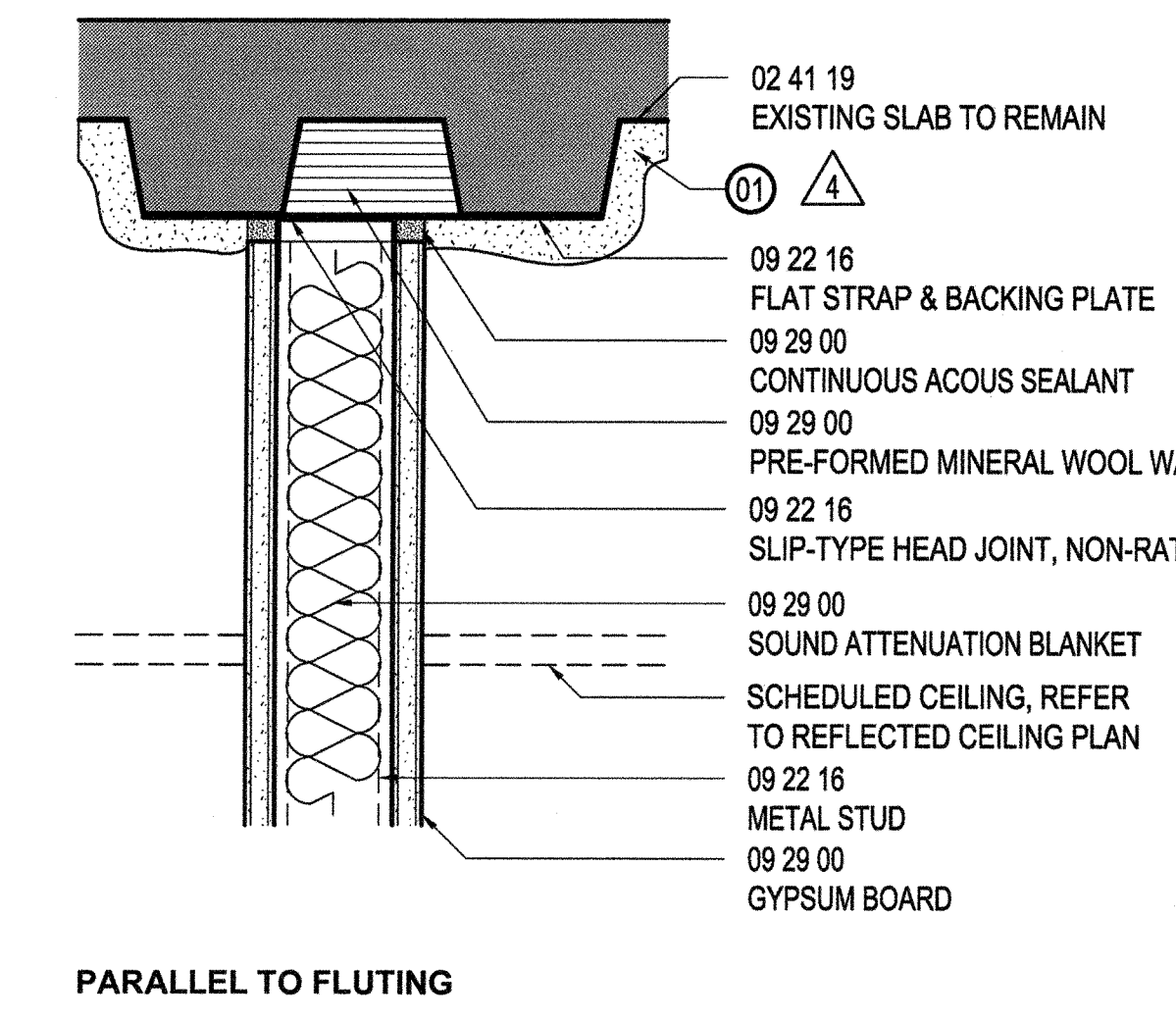
**HEAD OF WALL DETAIL HWD7**  
SCALE: 3"=1'-0"



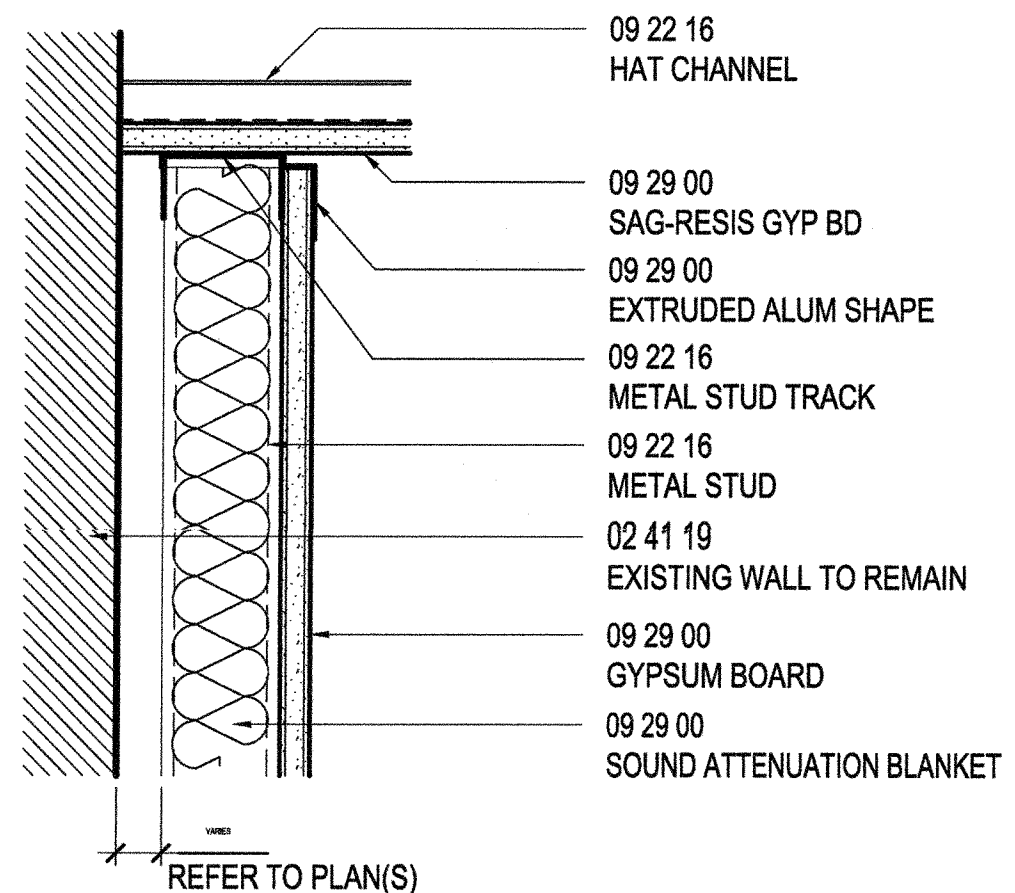
**HEAD OF WALL DETAIL HWD3**  
SCALE: 3"=1'-0"



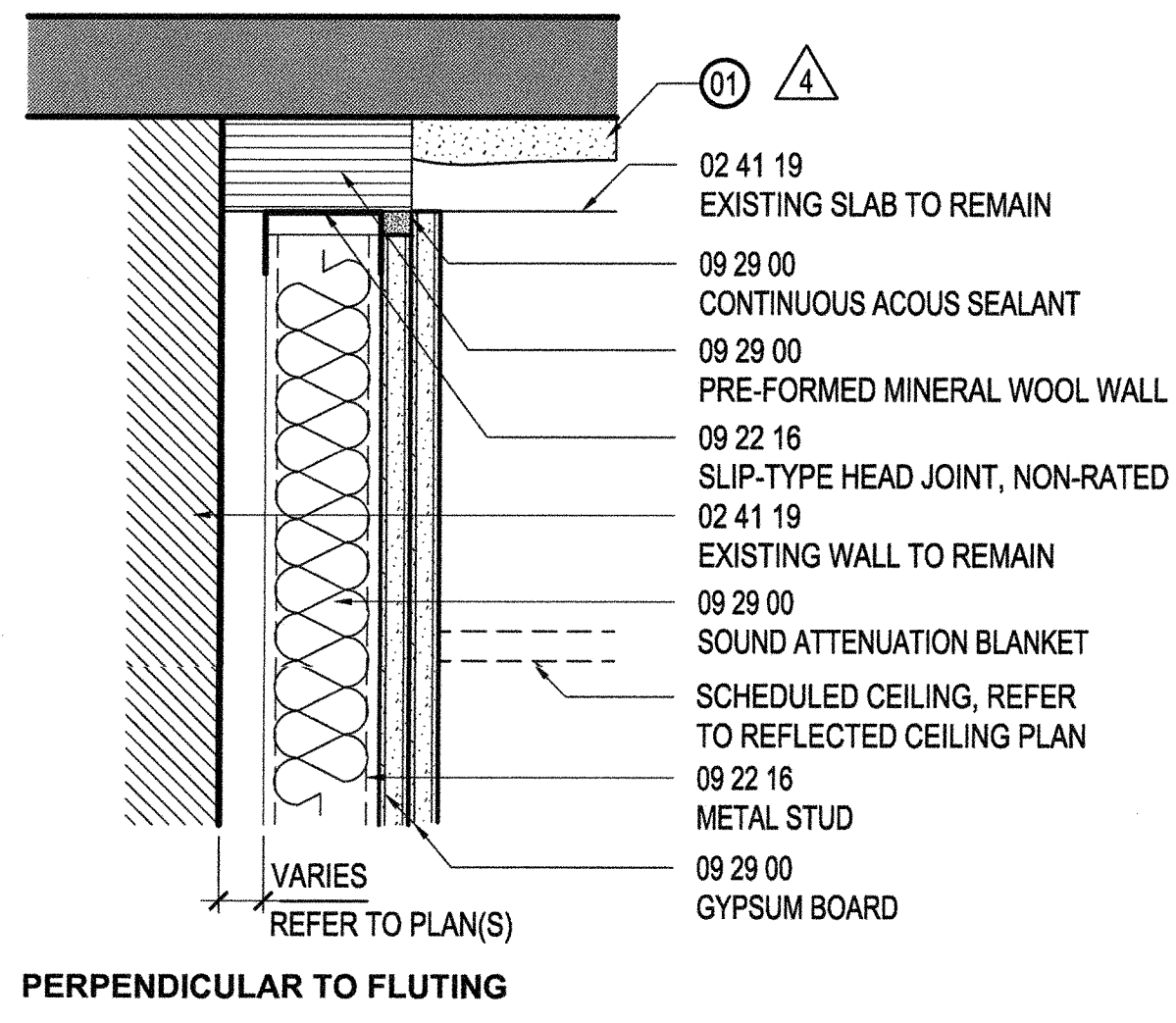
**HEAD OF WALL DETAIL HWA1**  
SCALE: 3"=1'-0"



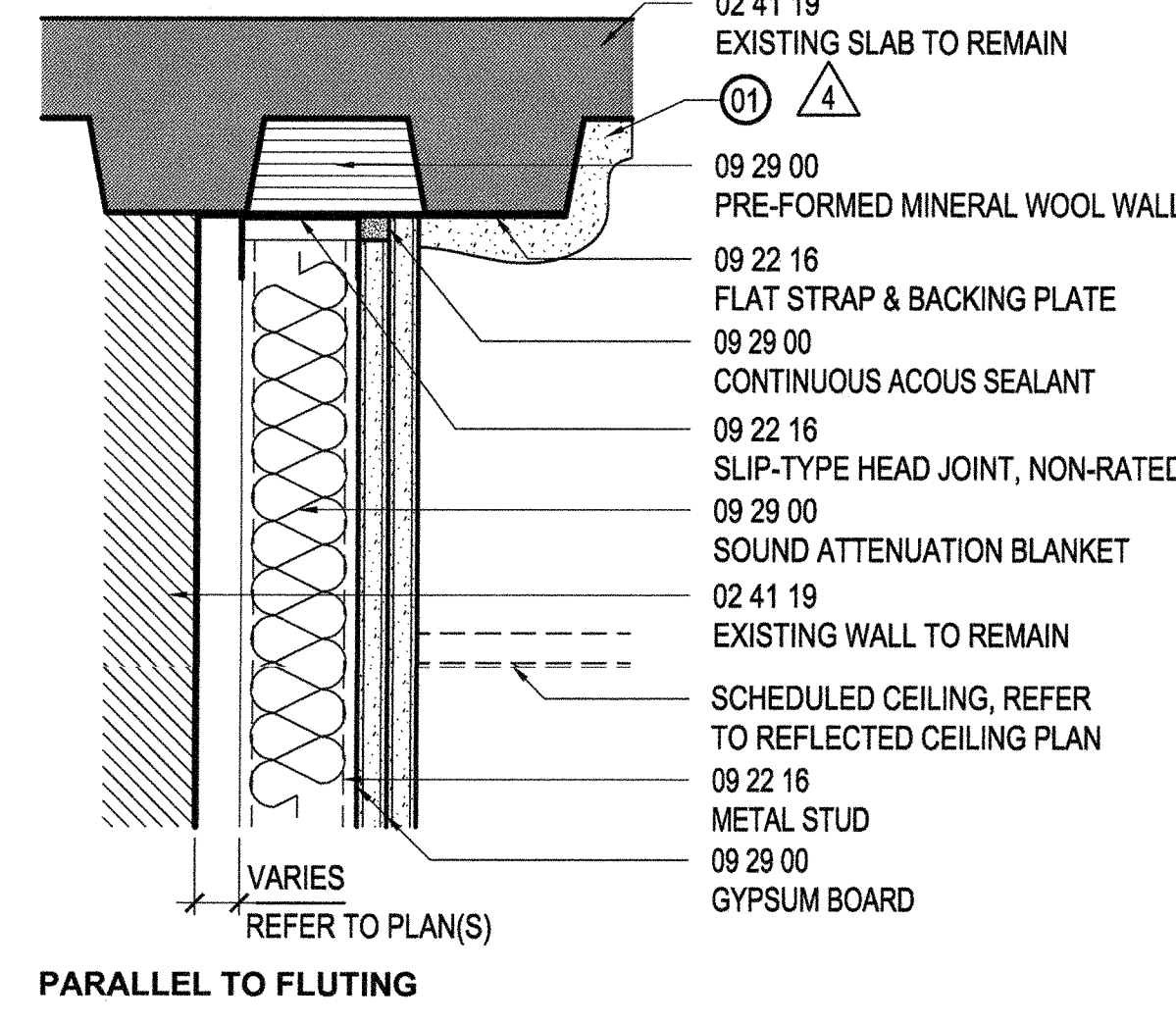
**HEAD OF WALL DETAIL HWA1**  
SCALE: 3"=1'-0"



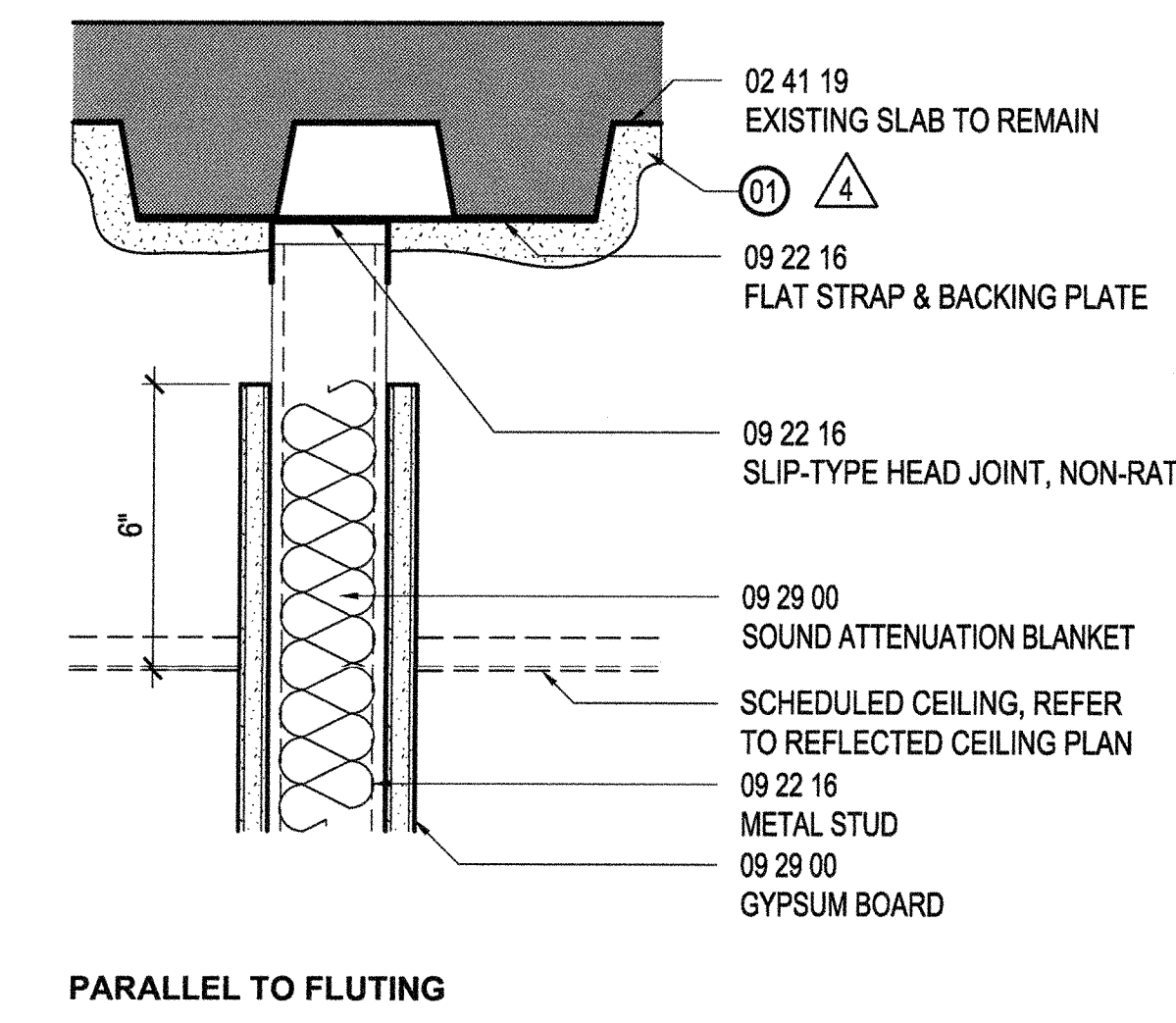
**HEAD OF WALL DETAIL HWD8**  
SCALE: 3"=1'-0"



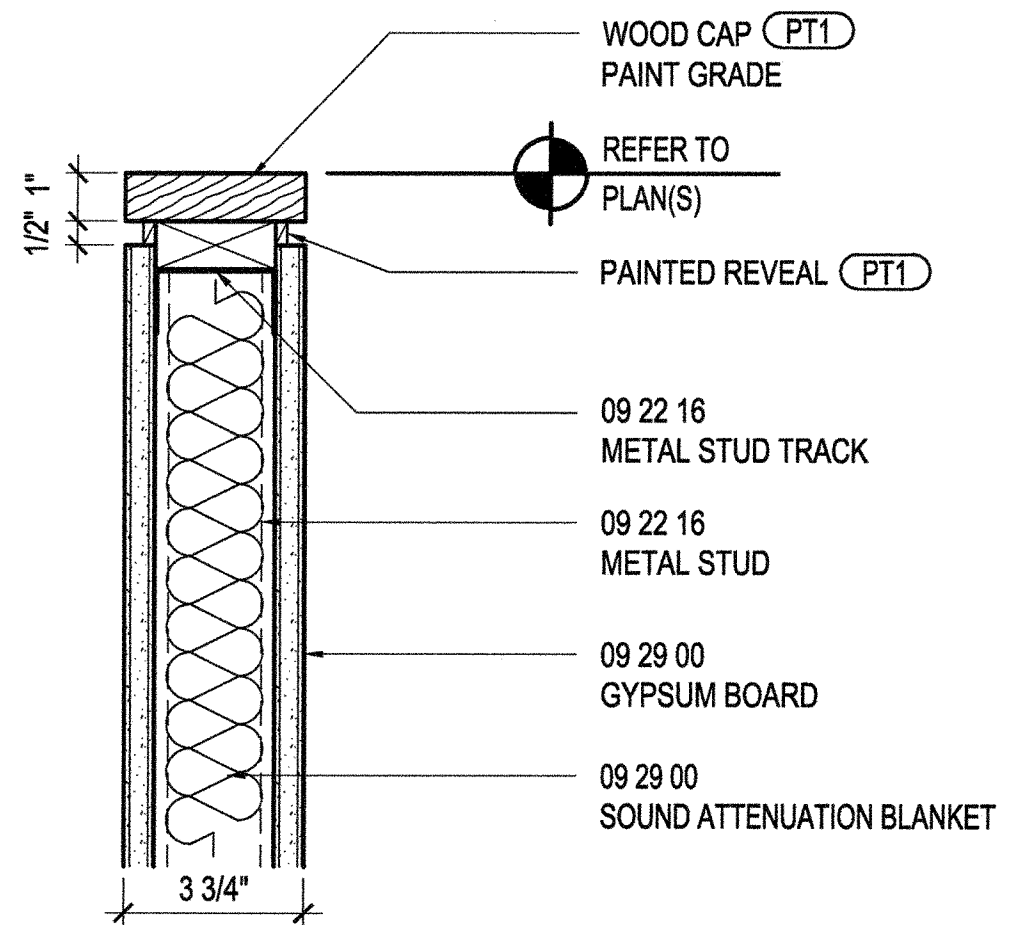
**HEAD OF WALL DETAIL HWE1**  
SCALE: 3"=1'-0"



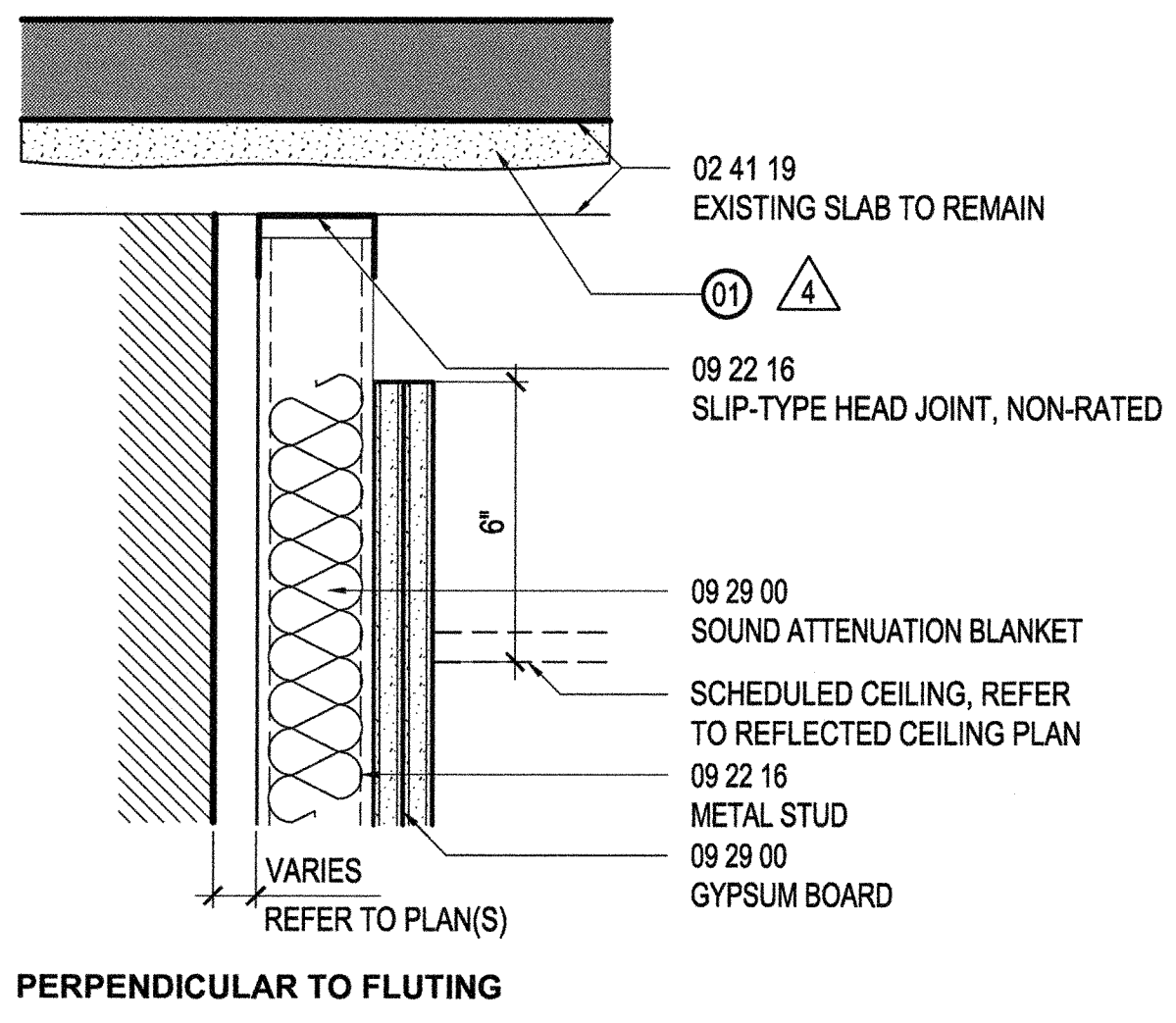
**HEAD OF WALL DETAIL HWA3**  
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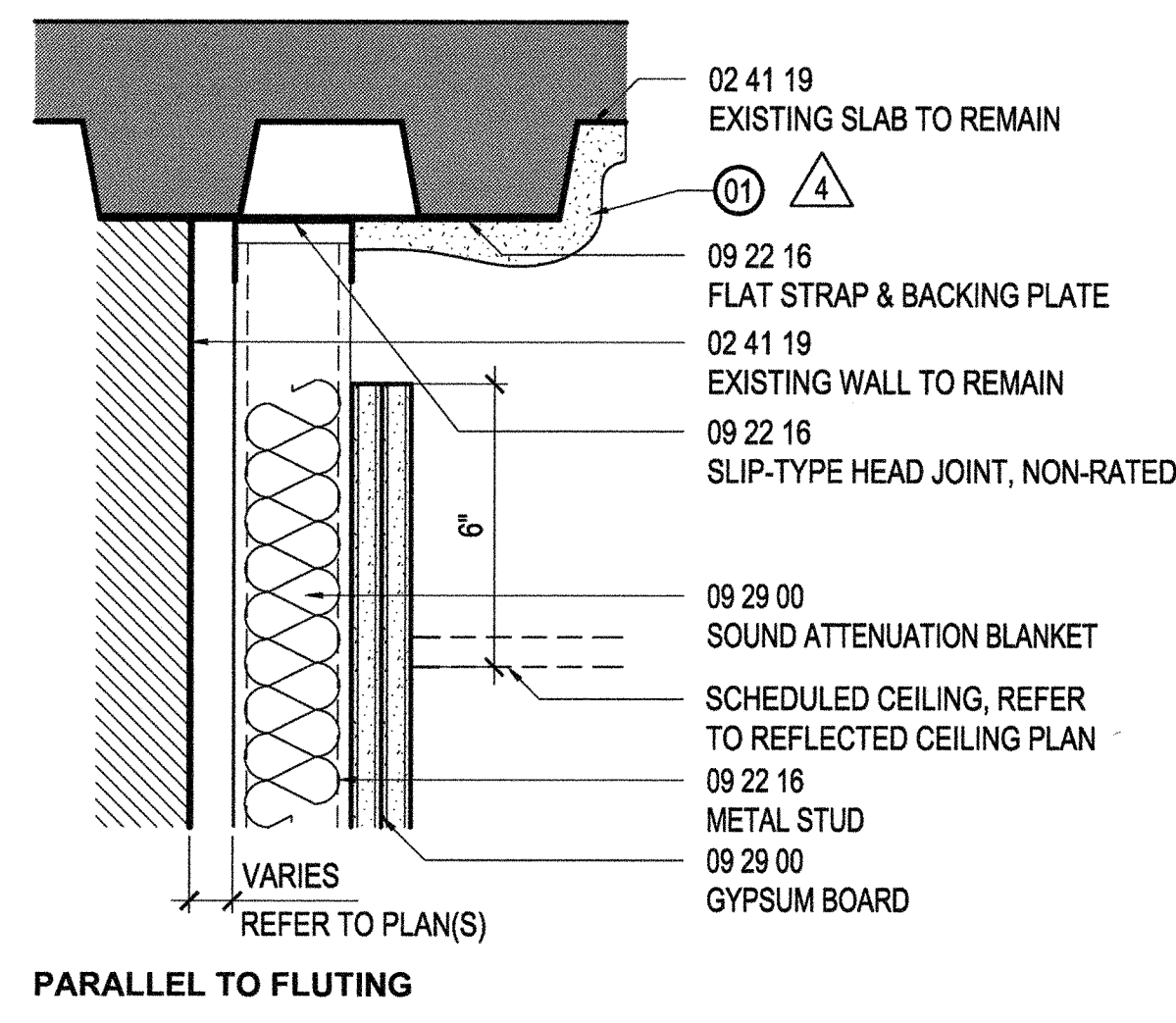
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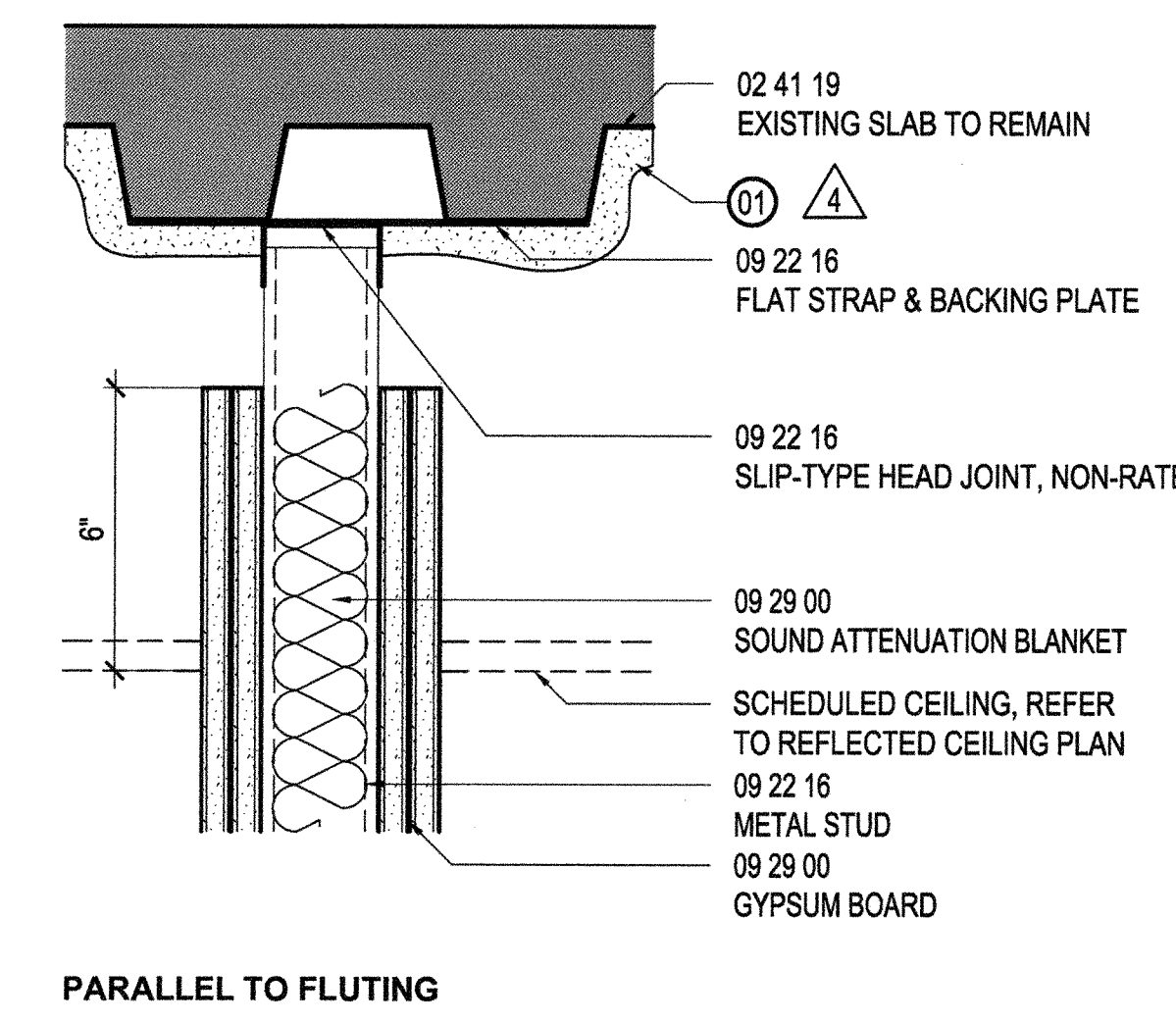
**HEAD OF WALL DETAIL HWA10**  
SCALE: 3"=1'-0"



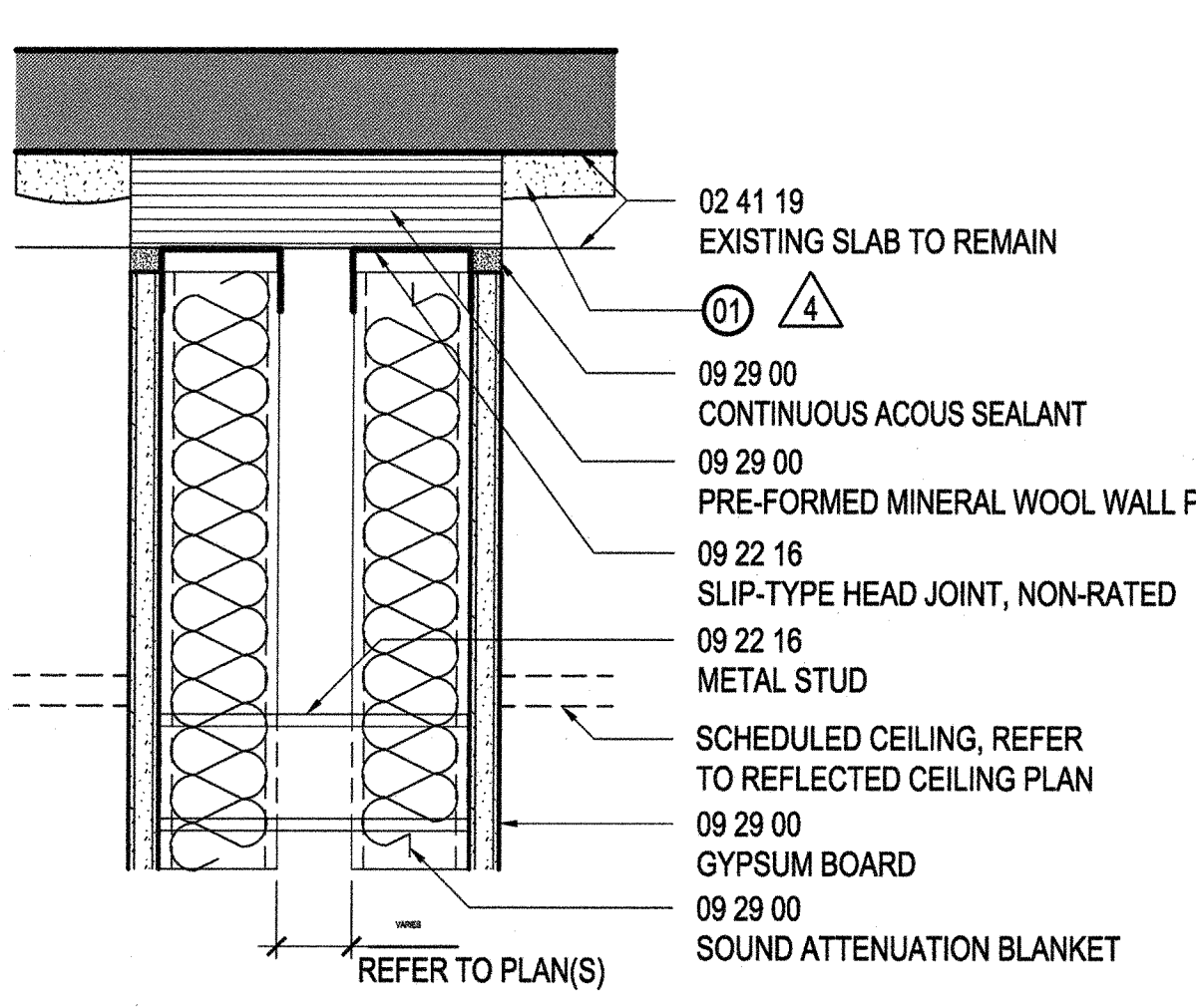
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SCALE: 3"=1'-0"



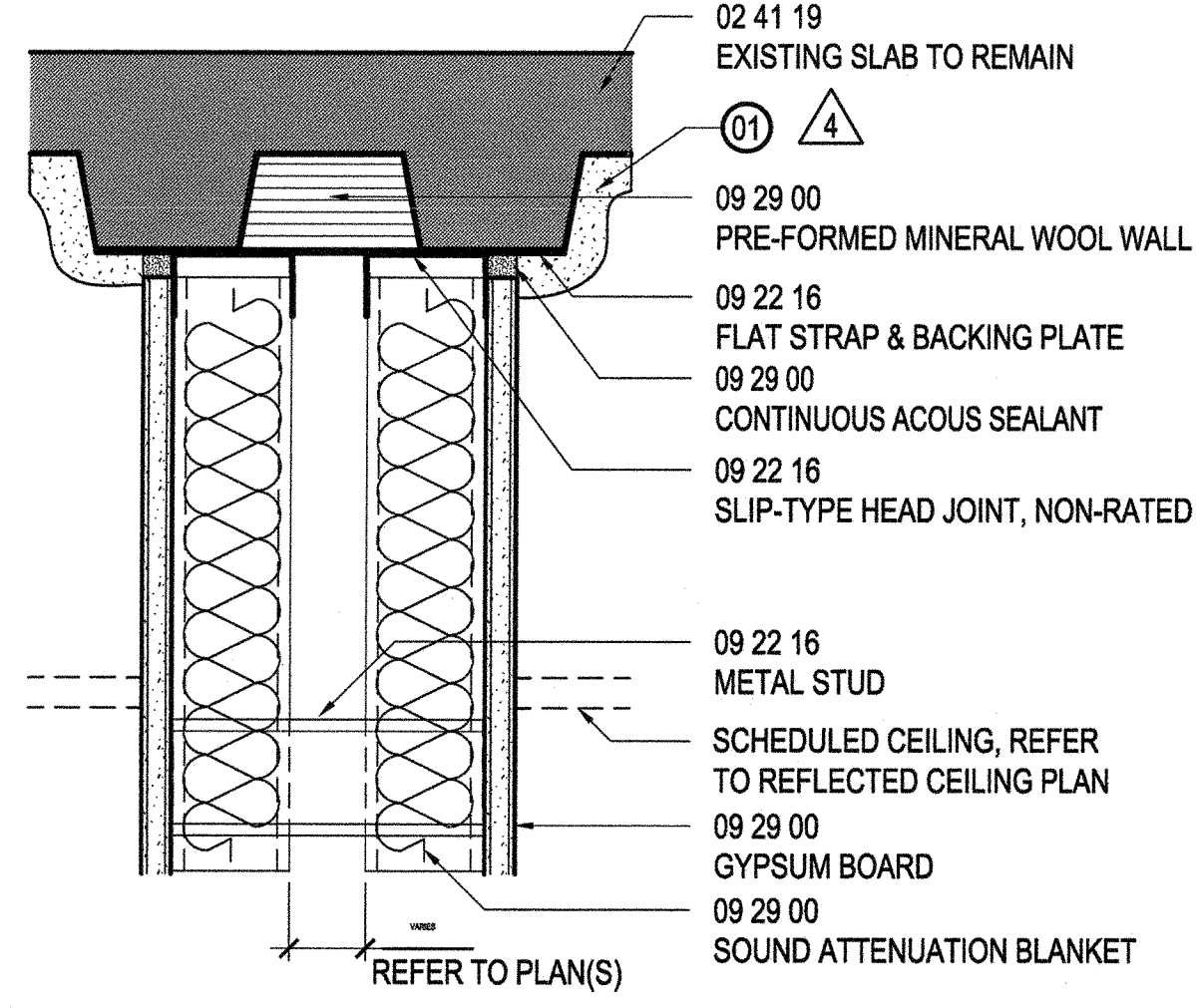
**HEAD OF WALL DETAIL HWB3**  
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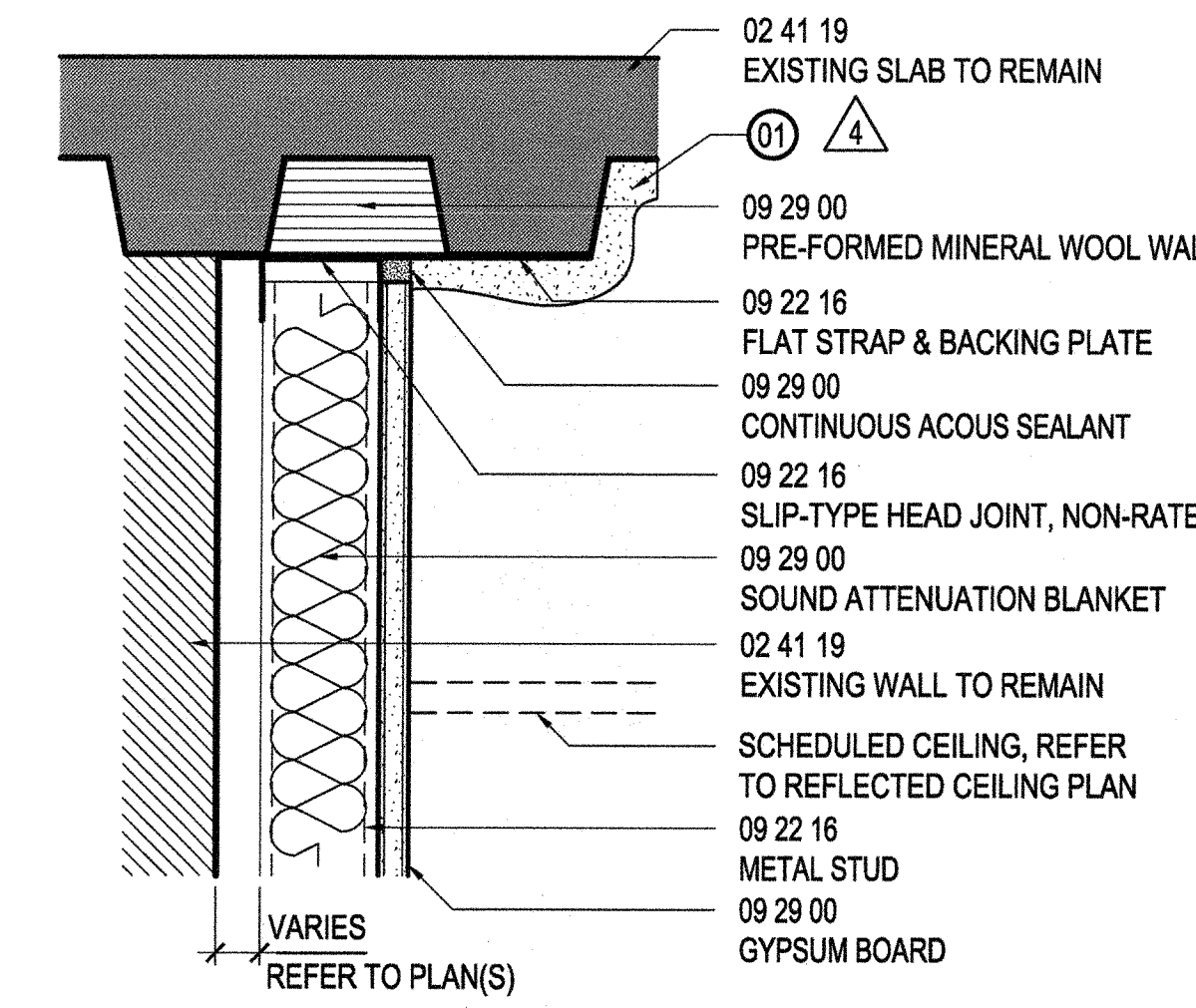
**HEAD OF WALL DETAIL HWB3**  
SCALE: 3"=1'-0"



**HEAD OF WALL DETAIL HWK1**  
SCALE: 3"=1'-0"



**HEAD OF WALL DETAIL HWD1**  
SCALE: 3"=1'-0"



**HEAD OF WALL DETAIL HWD1**  
SCALE: 3"=1'-0"

**SHEET NOTES**

- ① SPRAY-ON FIREPROOFING
- ⚠

**GENERAL NOTES**

- REPAIR ANY SPRAY ON FIREPROOFING DAMAGED DURING DEMOLITION OR CONSTRUCTION ON UNDERSIDE OF EXISTING SLAB TYP ALL LOCATIONS.
- SPECIAL INSPECTION REQUIRED FOR REPAIR OF SPRAY ON FIREPROOFING AT ALL NEW ATTACHMENTS OF WALLS, HANGERS, ETC.



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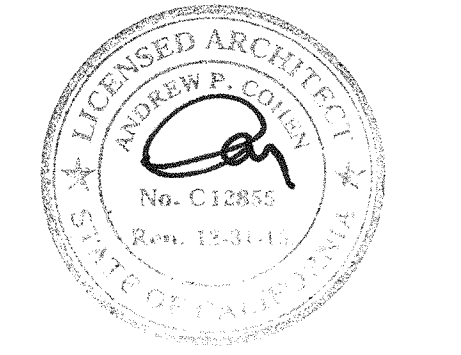
**Gensler**



Syska Hennessy Group, Inc.  
800 Corporate Pointe  
Suite 200  
Culver City, CA 90230  
Telephone: 310.312.0200  
Fax: 310.473.7468

Issue	Date & Issue Description	By	Check
01	06/22/12	SJ	SJ
PROGRESS SET			
02	07/31/12	ES/MC	SJ
Issued for Plan Check			
1	08/10/12	ES/MC	SJ
ISSUED FOR CONSTRUCTION			
3	10/05/12	ES/MC	SJ
REVISED FOR PLAN CHECK COMMENTS			
4	12/21/12	ES	SJ
PLAN CHECK			
6	02/21/13	ES	SJ
BULLETIN #4			

Seal/Signature



Project Name  
VERIZON V.I.P.

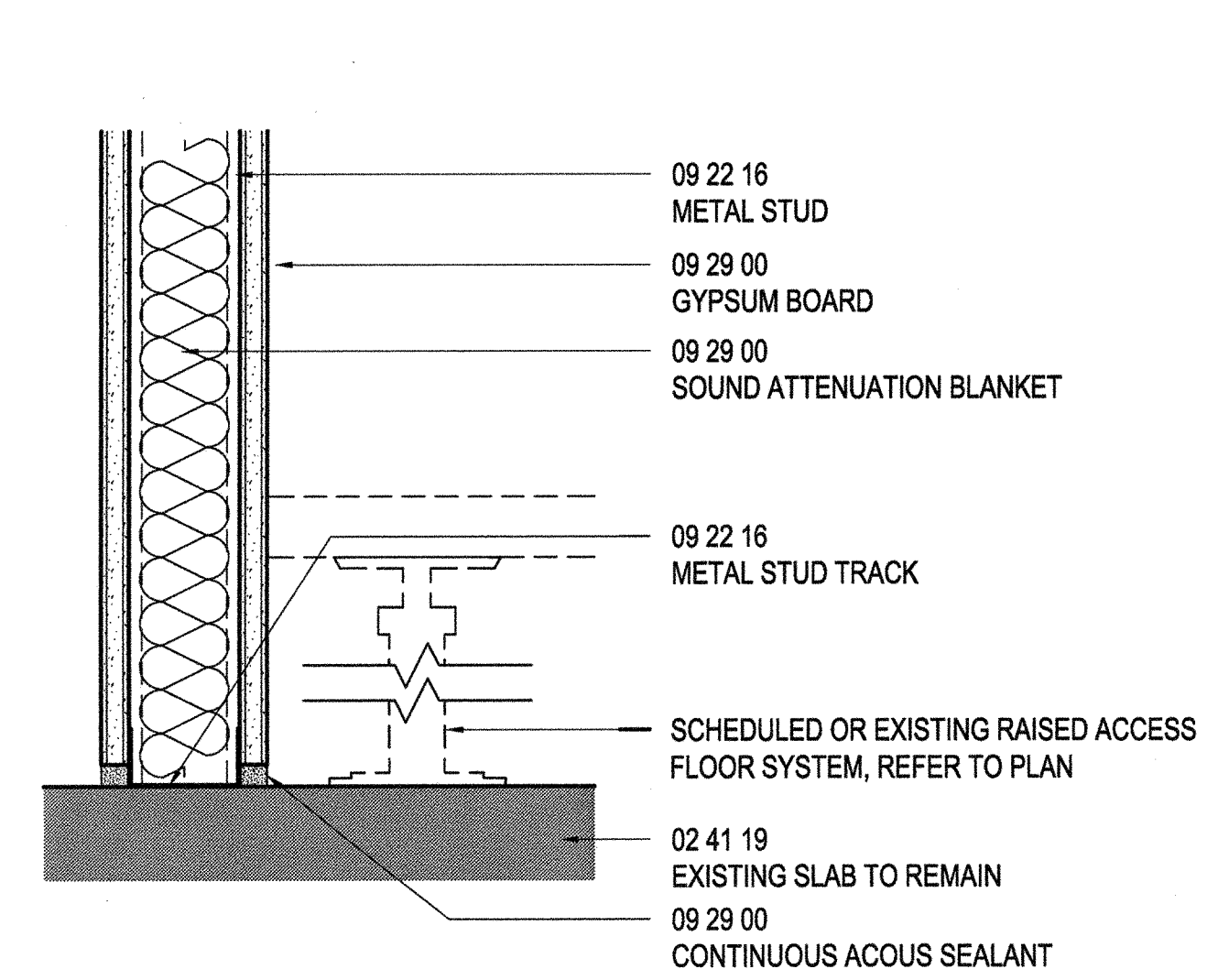
Project Number  
06.8740.000

CAD File Name  
A00-20

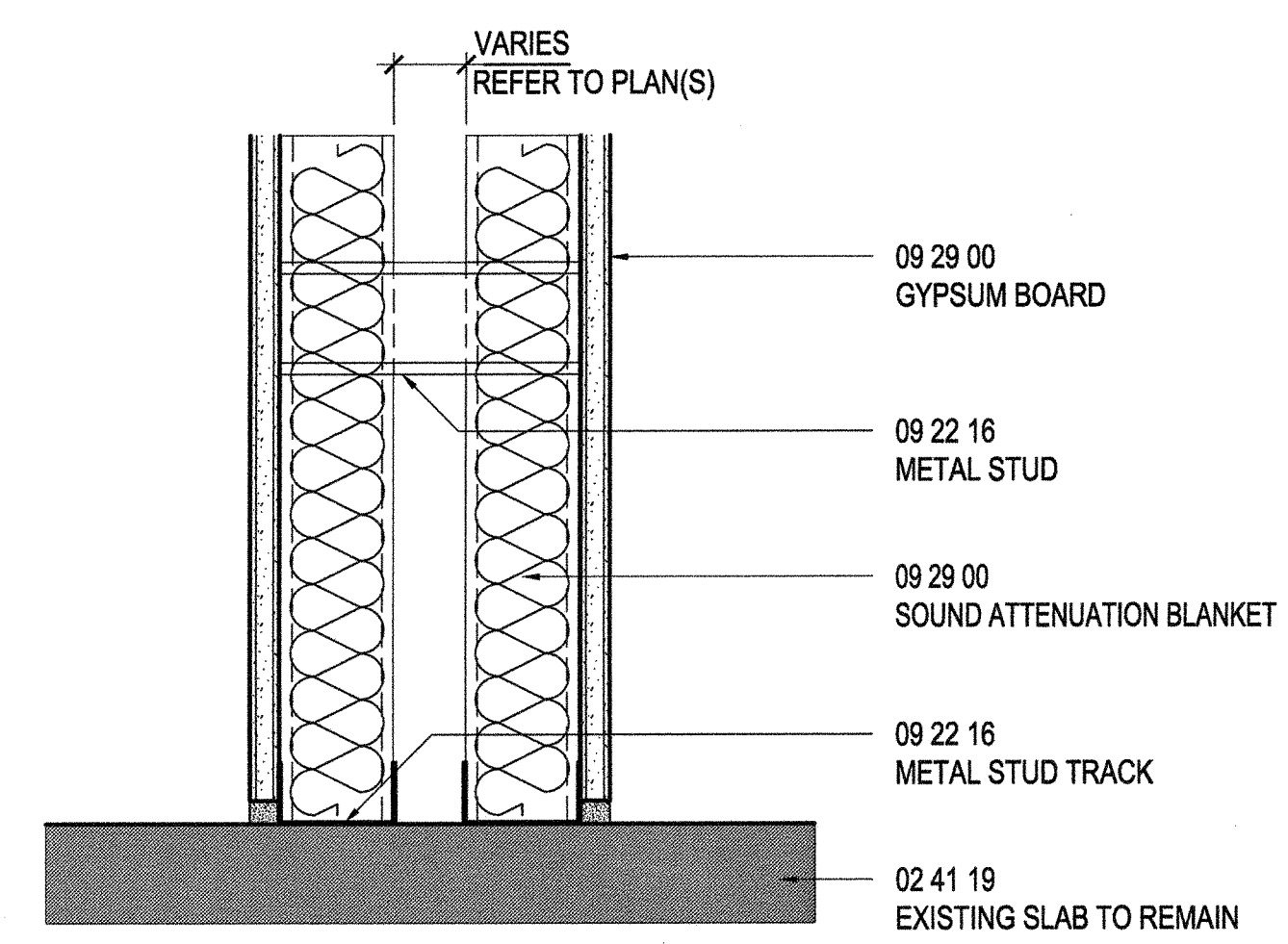
Description  
PARTITION TYPES

Scale

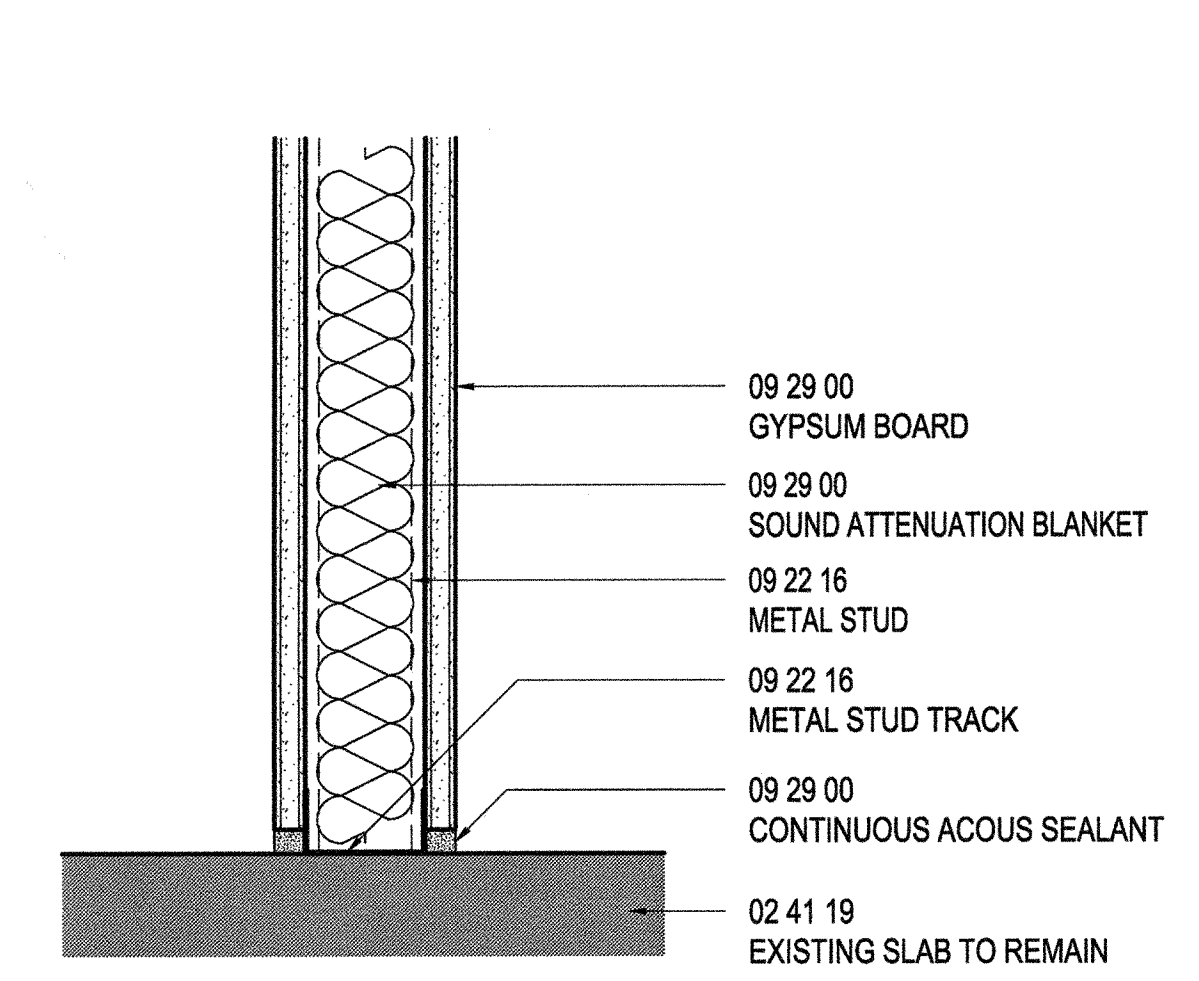
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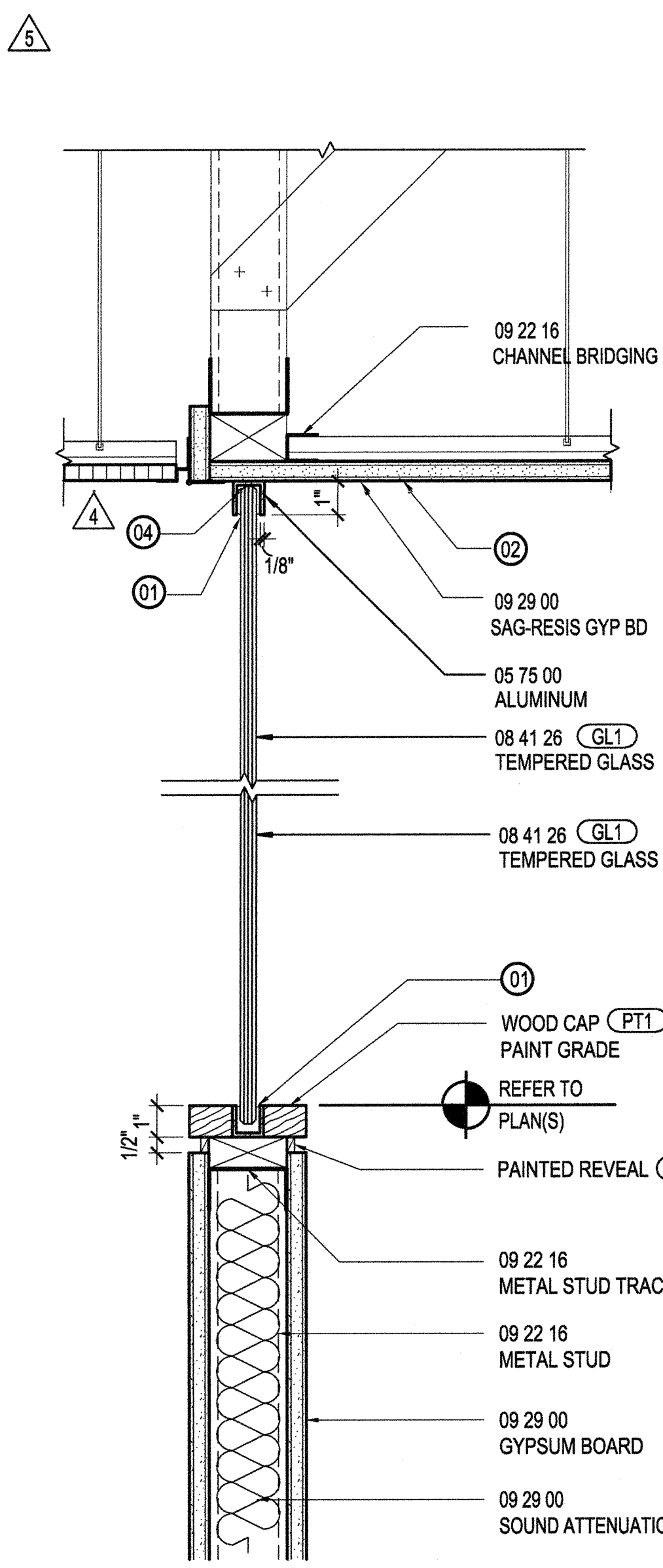
**BOTTOM OF WALL DETAIL BWA7**  
SCALE: 3"= 1'-0"



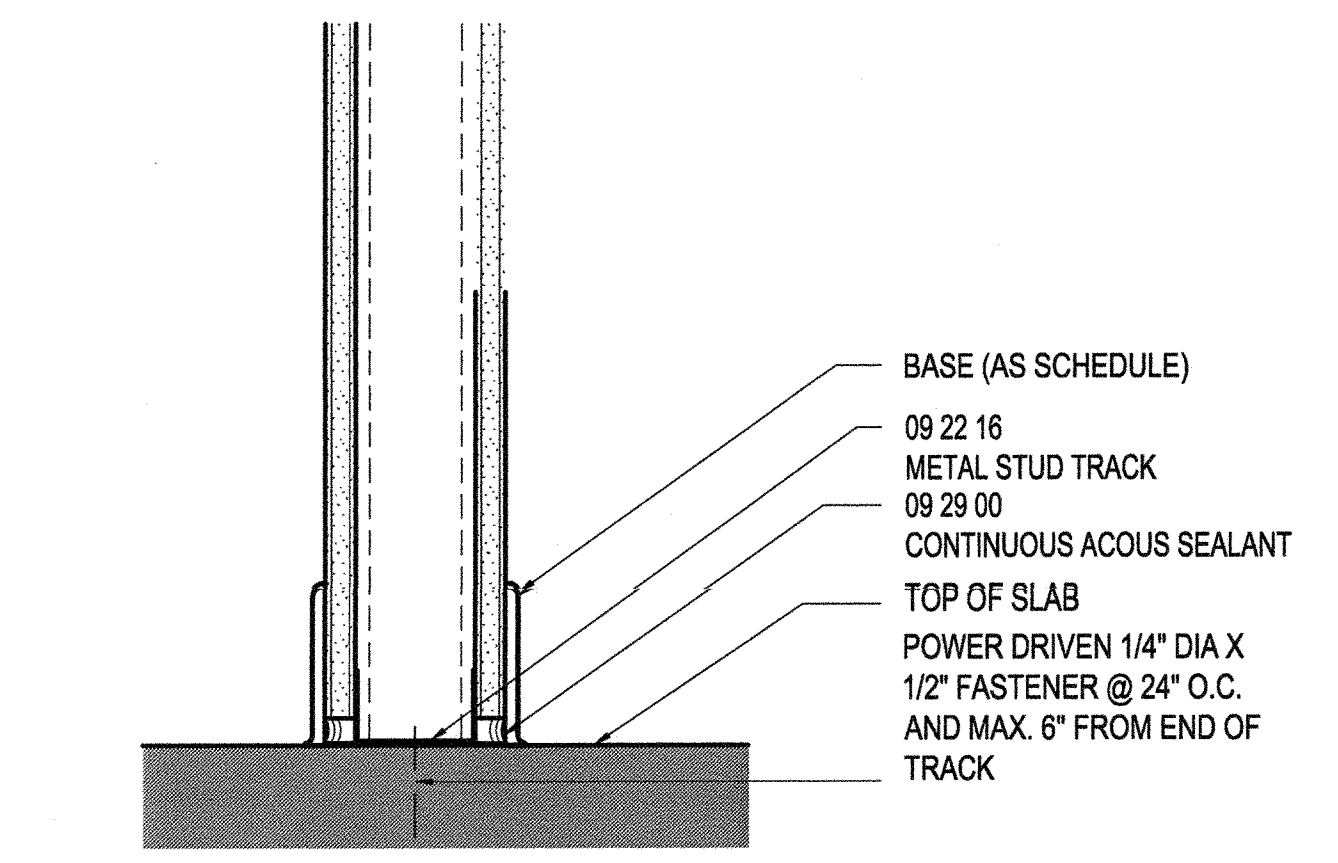
**BOTTOM OF WALL DETAIL BWK1**  
SCALE: 3"= 1'-0"



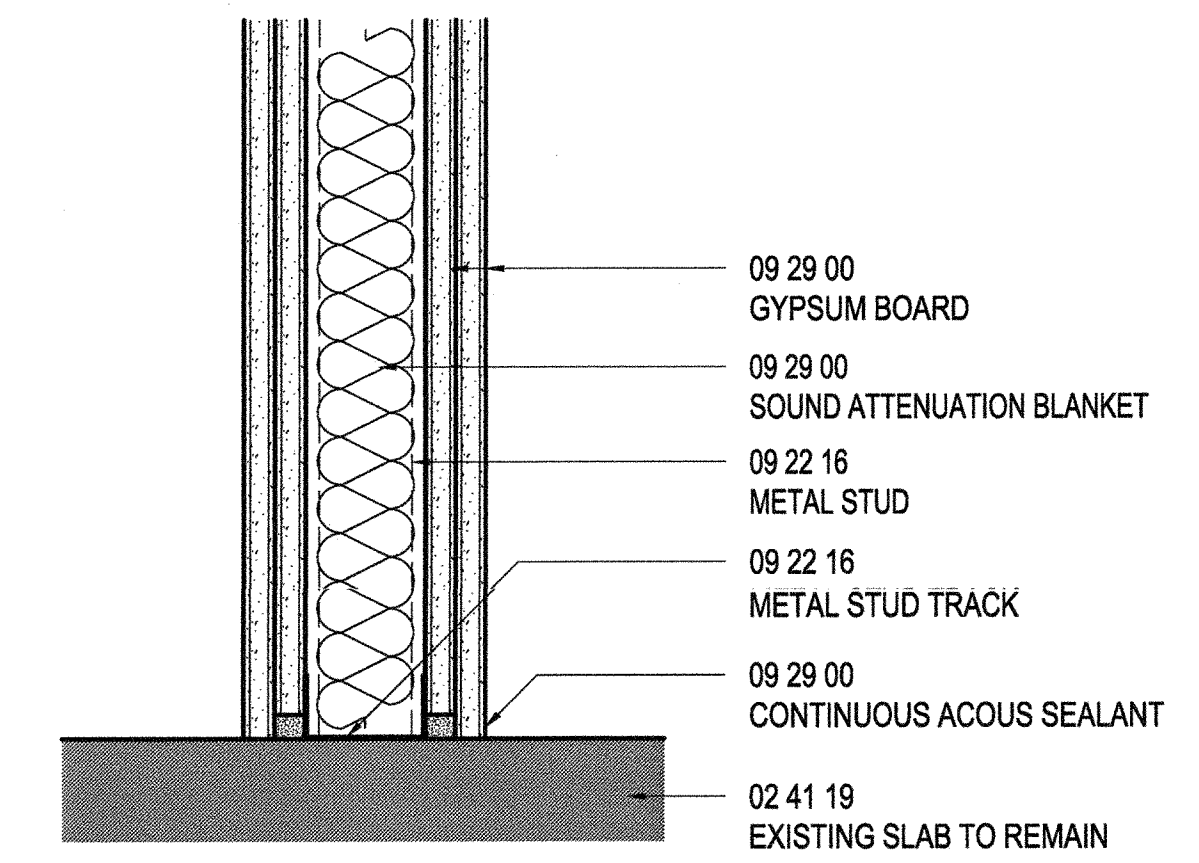
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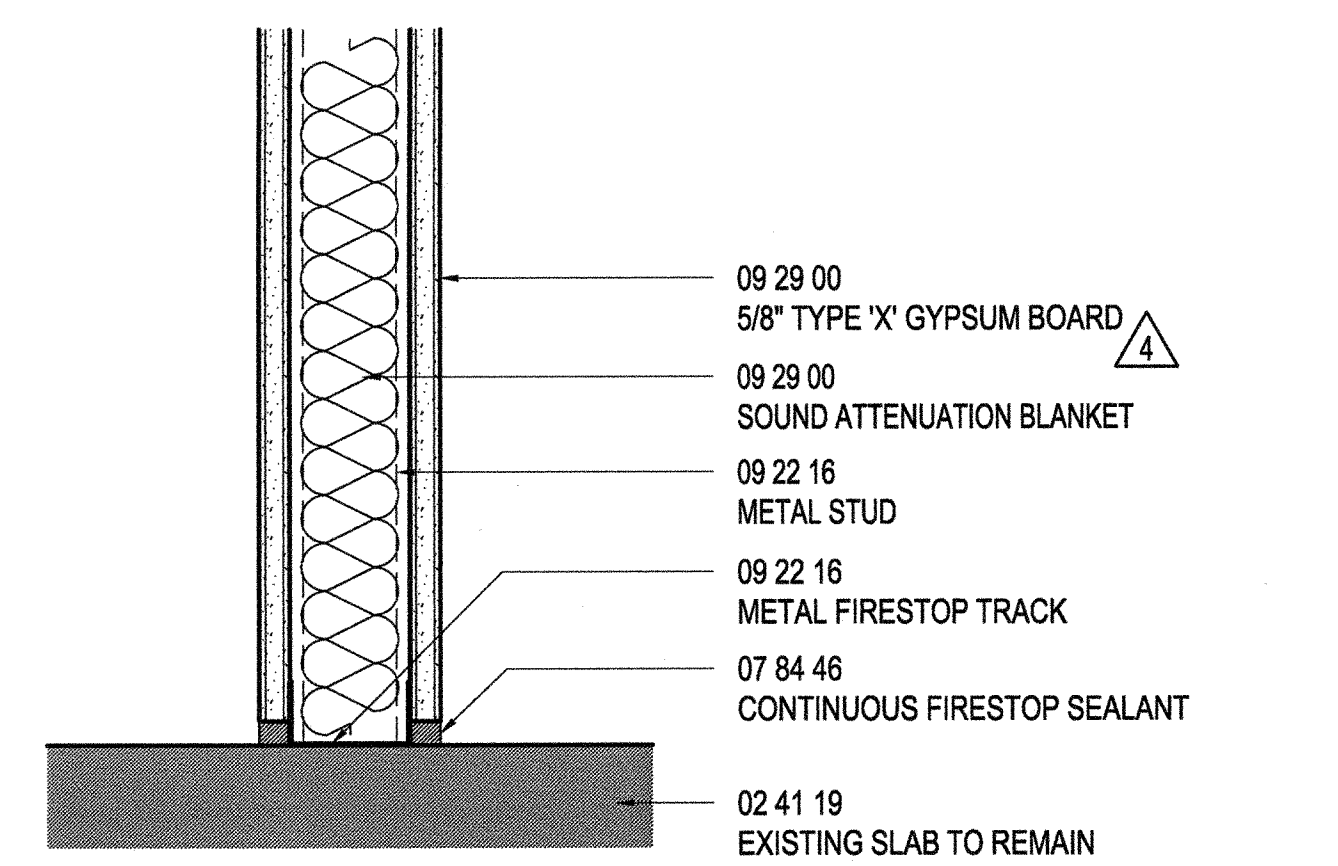
**HEAD OF WALL DETAIL HWA11**  
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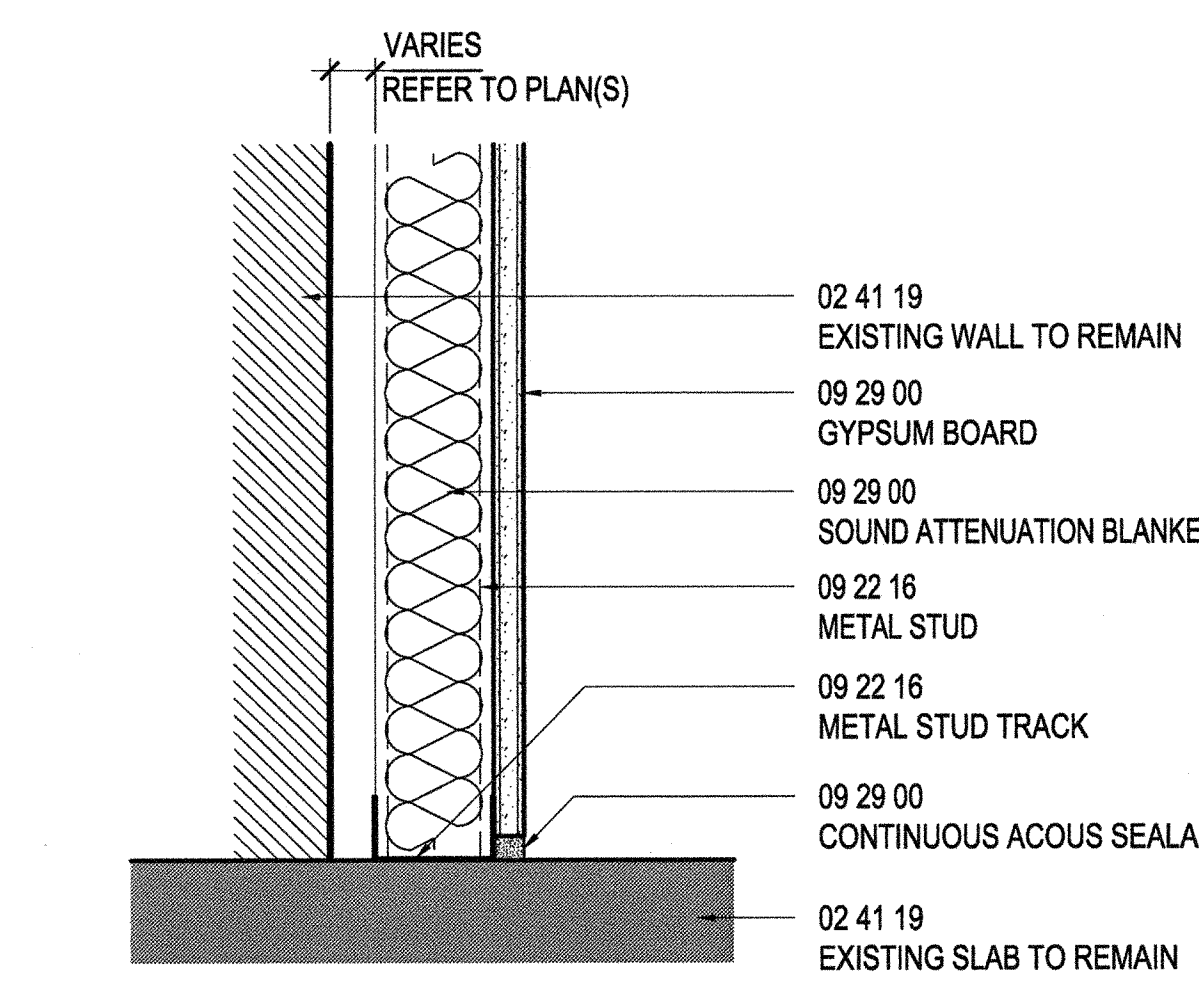
**BOTTOM OF WALL DETAIL BWL1**  
SCALE: 3"= 1'-0"



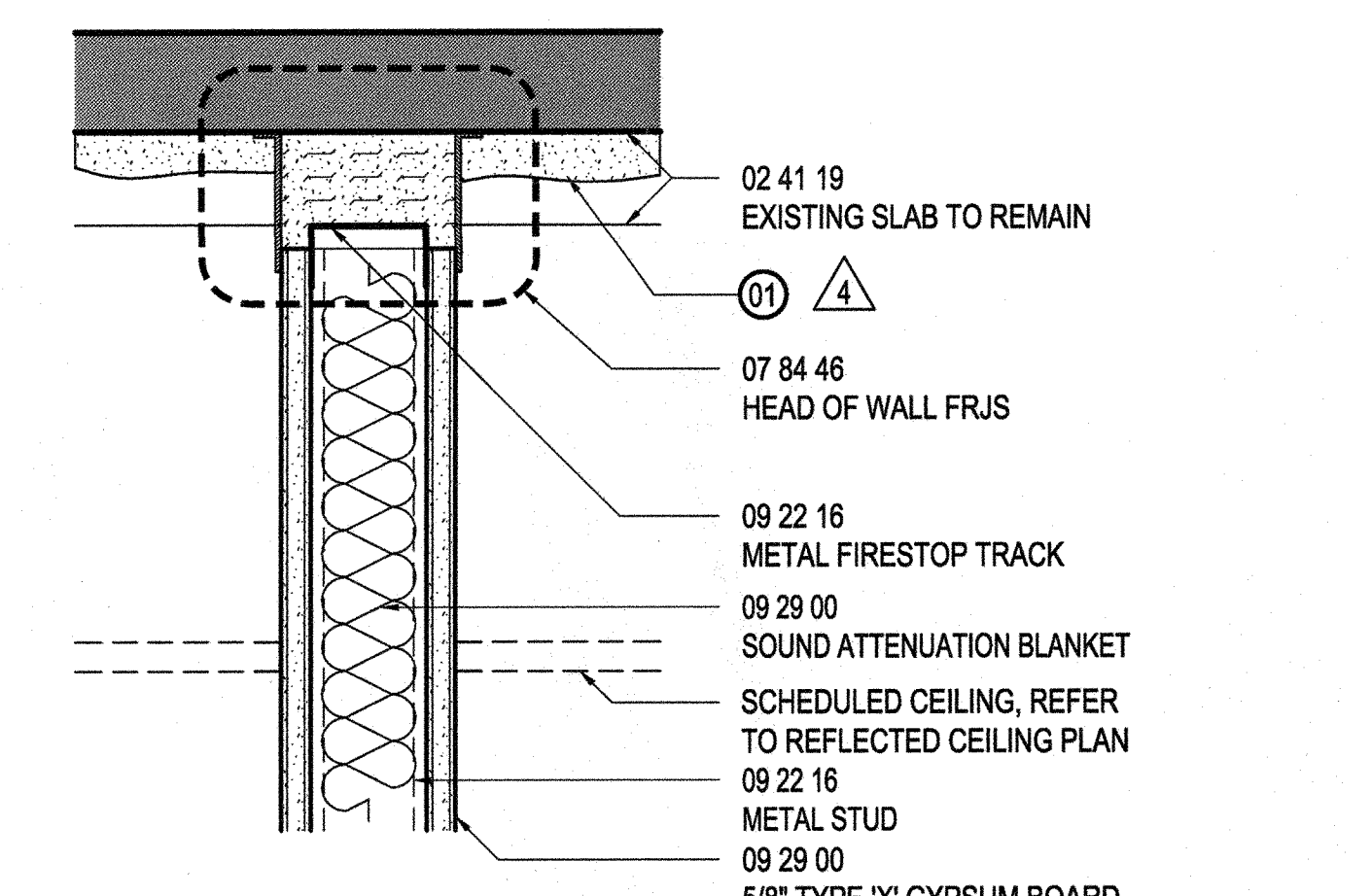
**BOTTOM OF WALL DETAIL BWB1**  
SCALE: 3"= 1'-0"



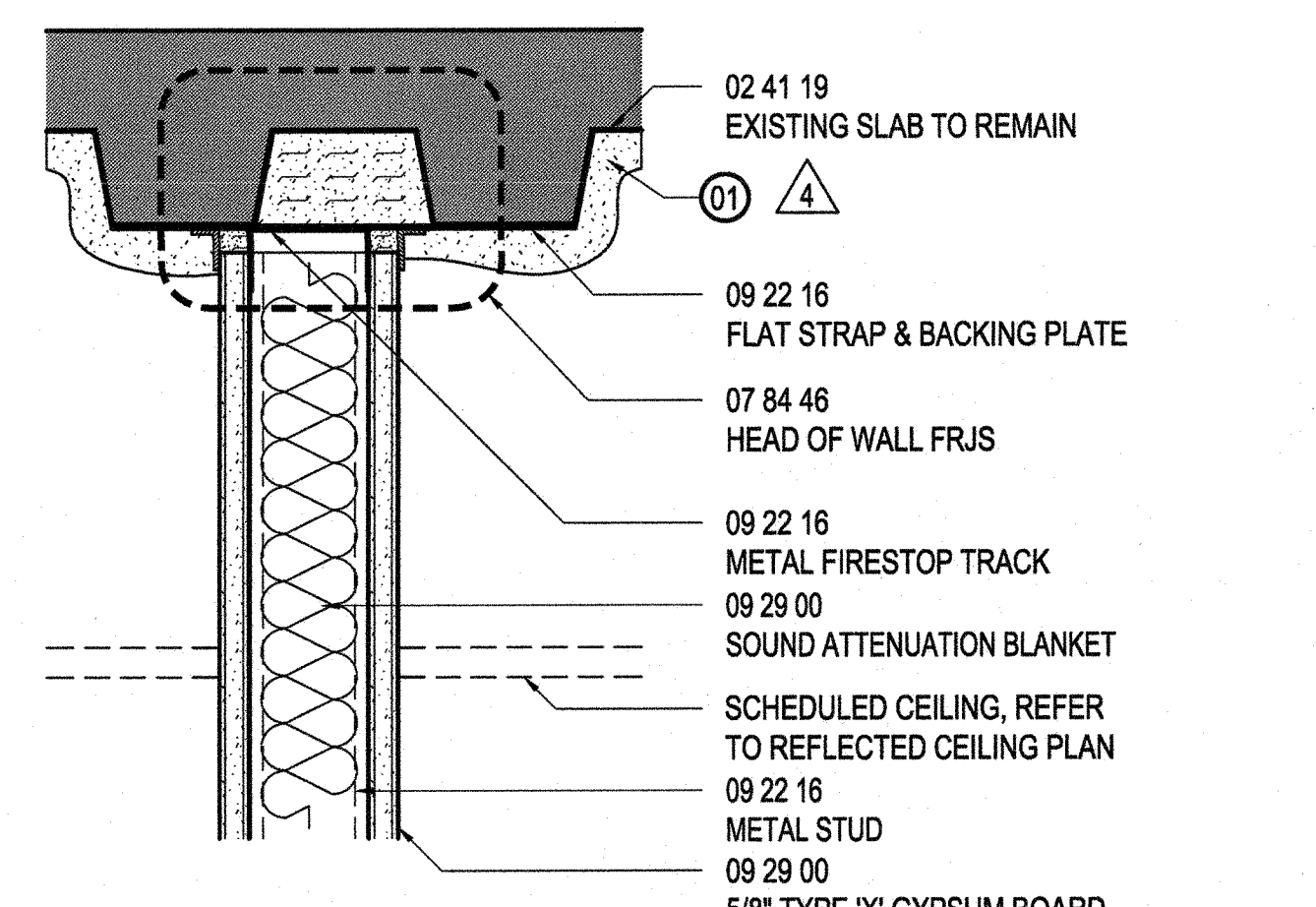
**BOTTOM OF WALL DETAIL BWA2**  
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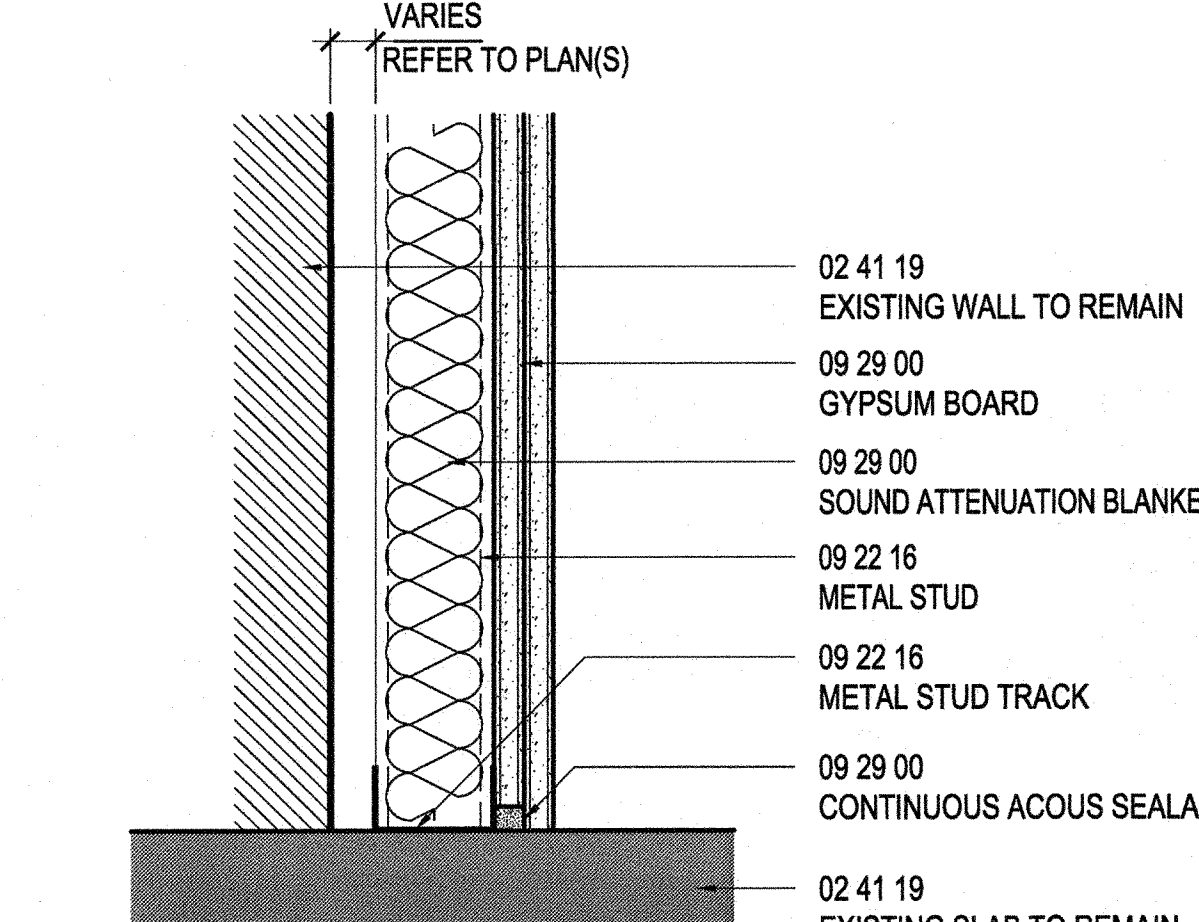
**BOTTOM OF WALL DETAIL BWD1**  
SCALE: 3"= 1'-0"



**HEAD OF WALL DETAIL HWA2**  
SCALE: 3"= 1'-0"



**BOTTOM OF WALL DETAIL BWA2**  
SCALE: 3"= 1'-0"



**BOTTOM OF WALL DETAIL BWE1**  
SCALE: 3"= 1'-0"

**SHEET NOTES**

- ① GLASS ATTACHMENT THROUGH STRUCTURAL SILICONE
- ② SCHEDULED OR EXISTING CEILING, REFER TO REFLECTED CEILING PLAN
- ③ SPRAY-ON FIREPROOFING
- ④ ALUMINUM CHANNEL TO BE MECHANICALLY FASTENED TO FRAMED HEADER ABOVE.



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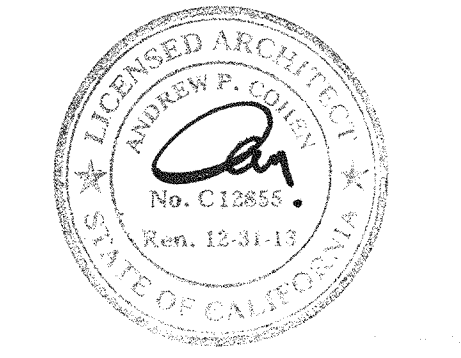
APPROVED  
PERMIT CENTER  
CITY OF CHICAGO  
I hereby certify that the above described project has been reviewed and approved for construction in accordance with the applicable provisions of the Chicago Building Code. The construction shall be in accordance with the approved plans and specifications. It is the responsibility of the contractor to ensure that the construction is completed in accordance with the approved plans and specifications.

Issue	Date & Issue Description	By	Check
01	07/31/12 Issued for Plan Check	ES/MC	SJ
1	08/10/12 ISSUED FOR CONSTRUCTION	ES/MC	SJ
2	09/12/12 BULLETIN #1	ES/MC	SJ
3	10/05/12 REVISED FOR PLAN CHECK COMMENTS	ES/MC	SJ
4	12/21/12 PLAN CHECK	ES	SJ
5	11/19/12 BULLETIN #3	ES	SJ
6	02/21/13 BULLETIN #4	ES	SJ

**GENERAL NOTES**

1. REPAIR ANY SPRAY ON FIREPROOFING DAMAGED DURING DEMOLITION OR CONSTRUCTION ON UNDERSIDE OF EXISTING SLAB TYP ALL LOCATIONS.
2. SPECIAL INSPECTION REQUIRED FOR REPAIR OF SPRAY ON FIREPROOFING AT ALL NEW ATTACHMENTS OF WALLS, HANGERS, ETC.

Seal/Signature



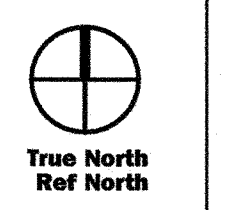
Project Name  
VERIZON V.I.P.

Project Number  
06.8740.000  
CAD File Name  
A00-20  
Description  
PARTITION TYPES

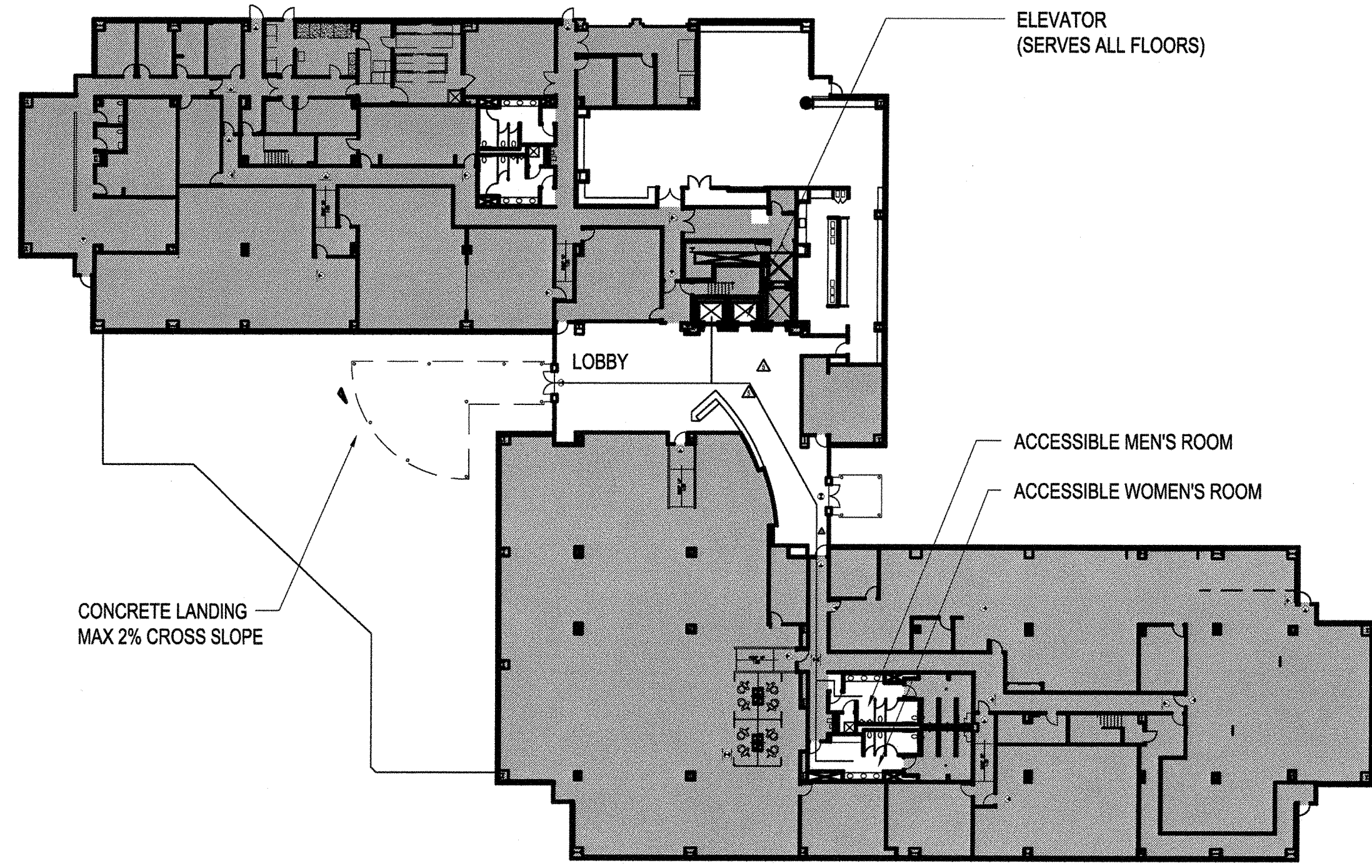
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**A00.22\_SD**

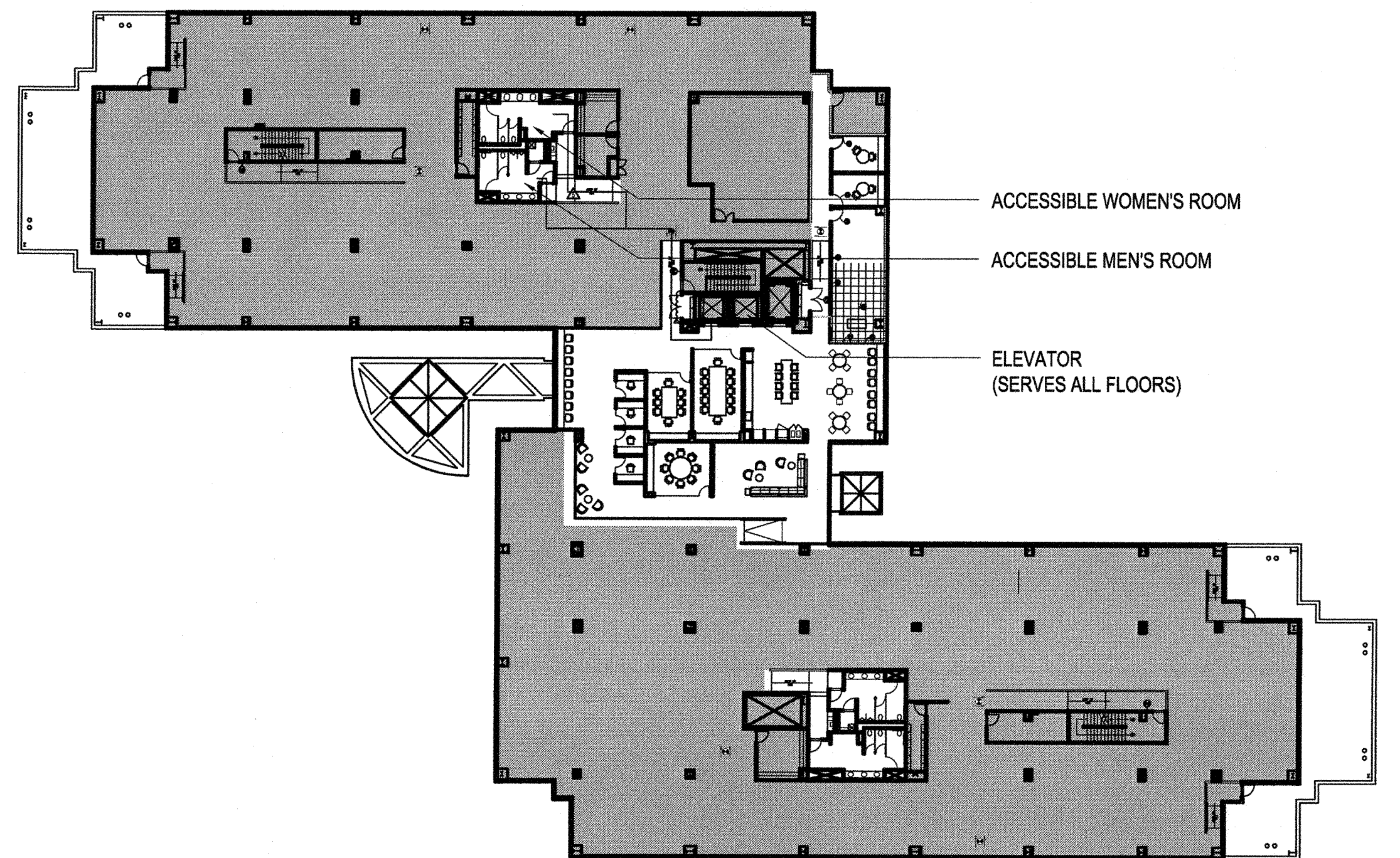
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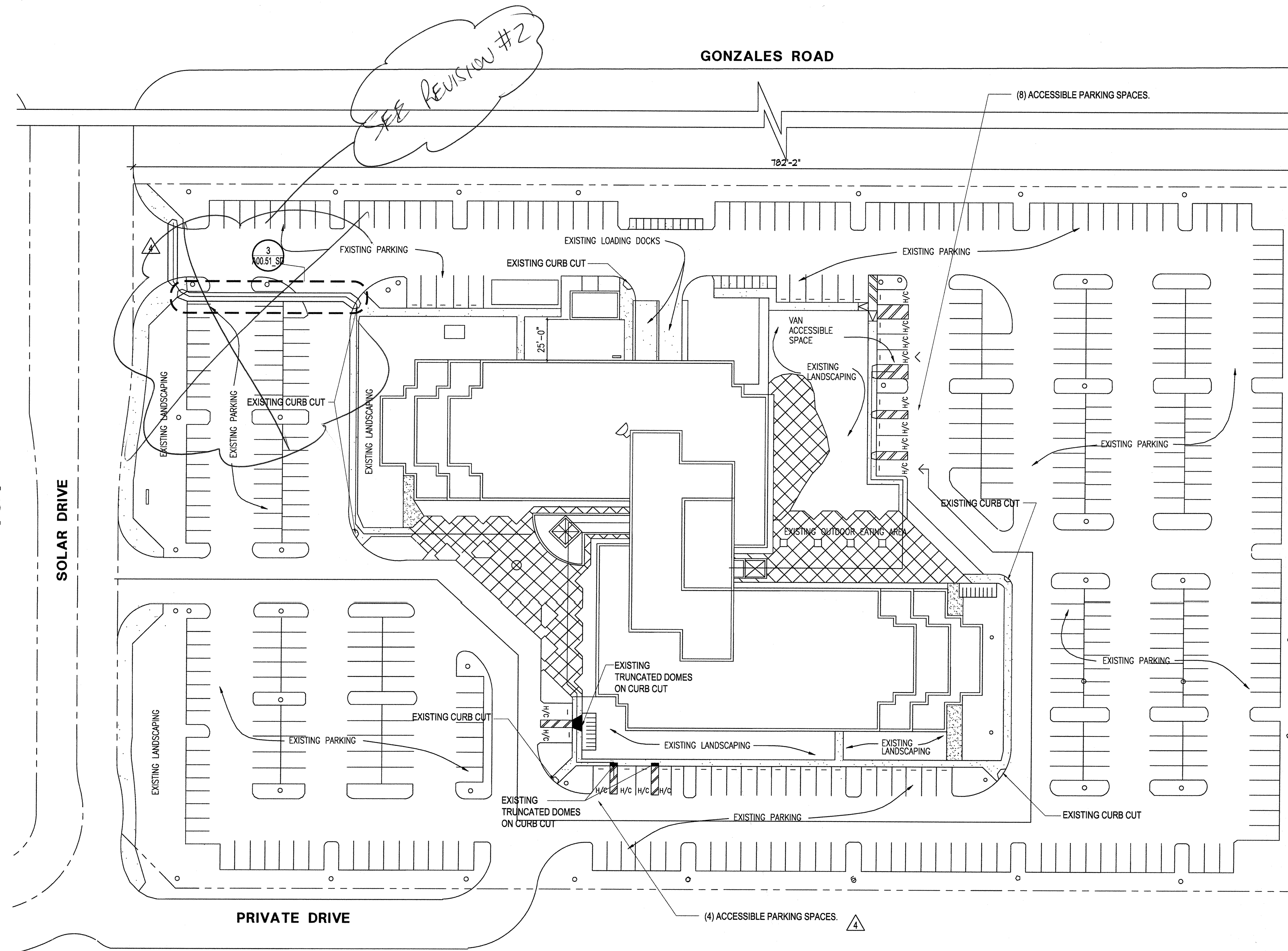




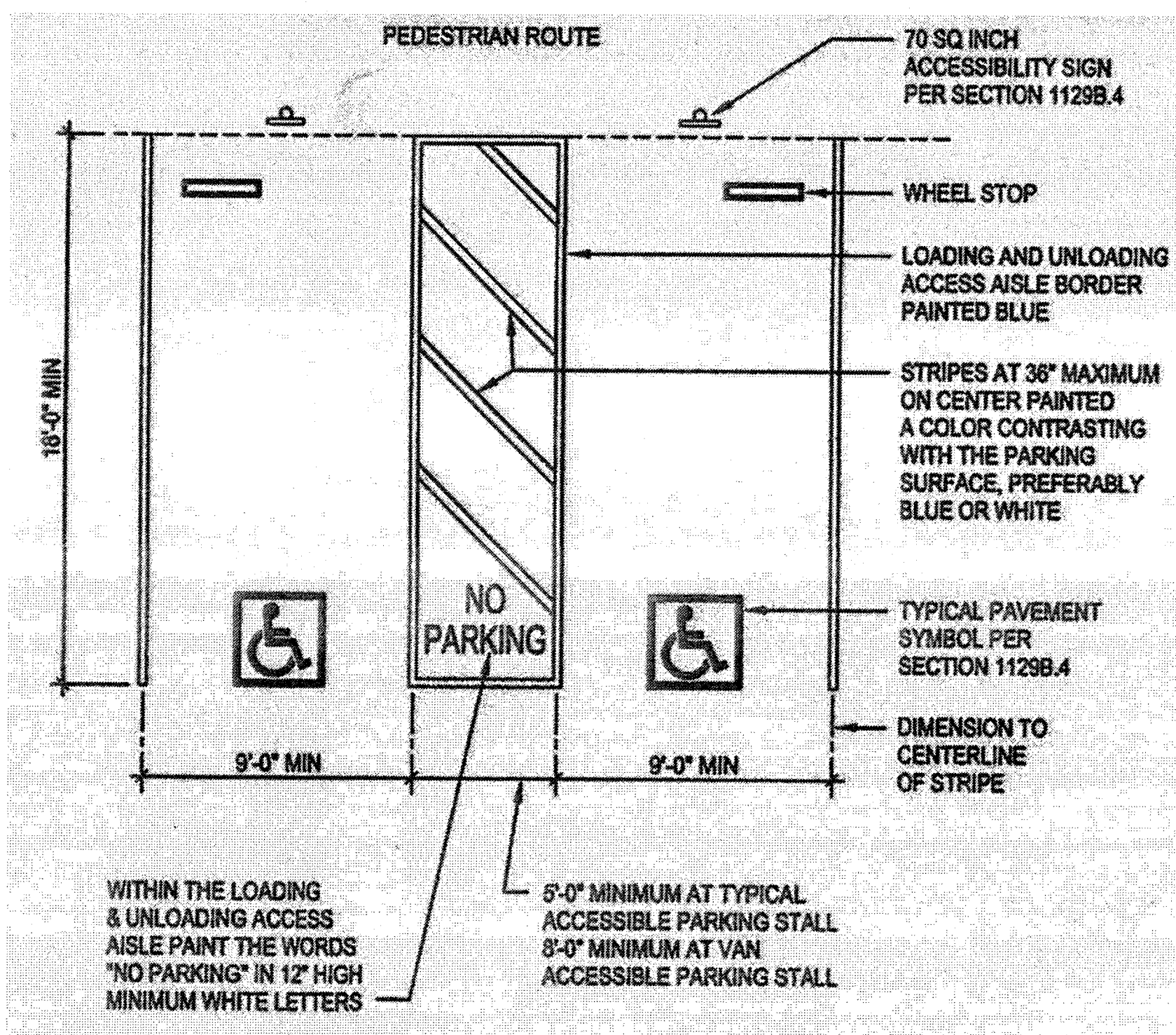
**GROUND FLOOR ACCESSIBLE PATH OF TRAVEL 16**



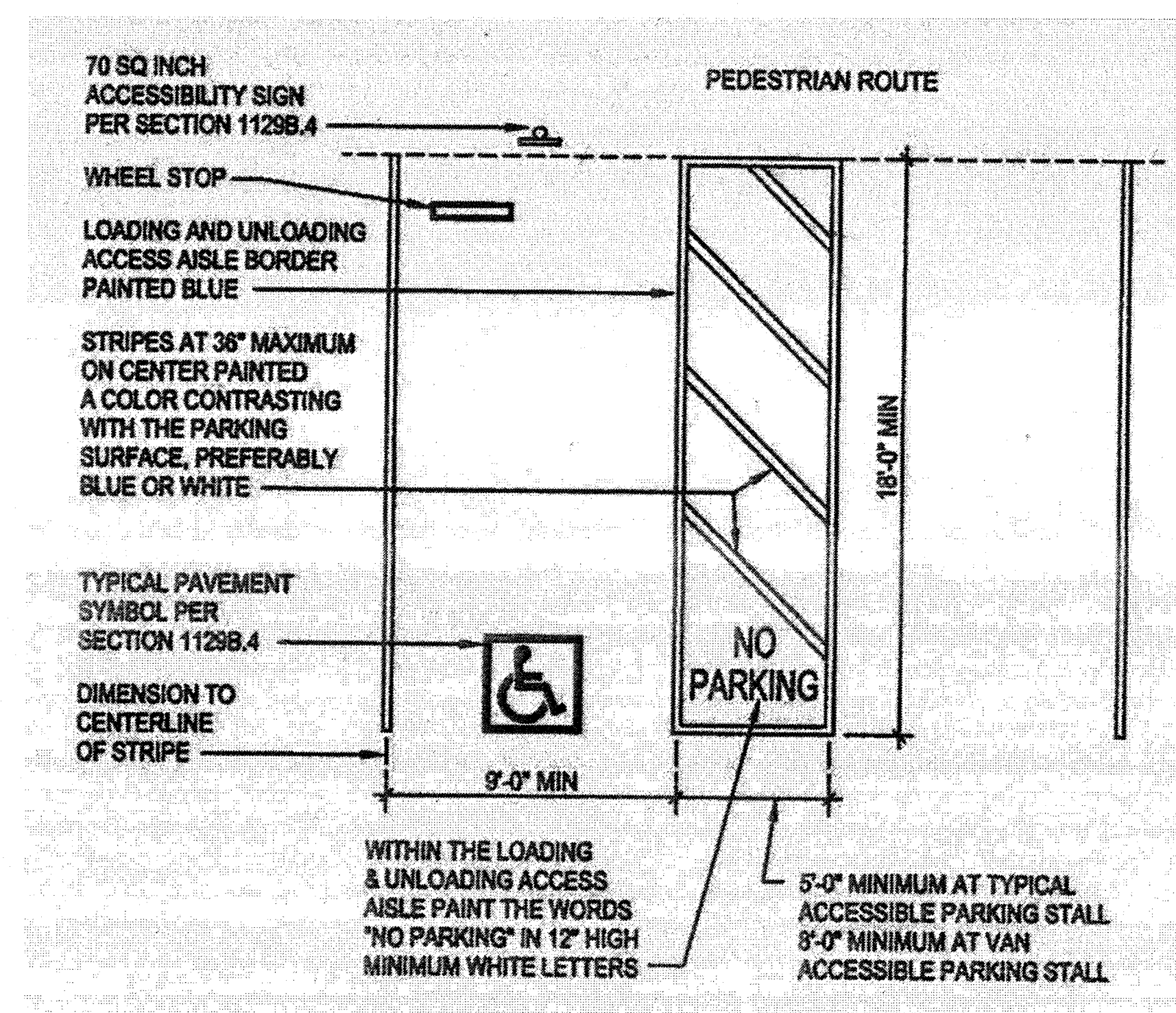
**SECOND AND THIRD FLOOR ACCESSIBLE PATH OF TRAVEL 17**



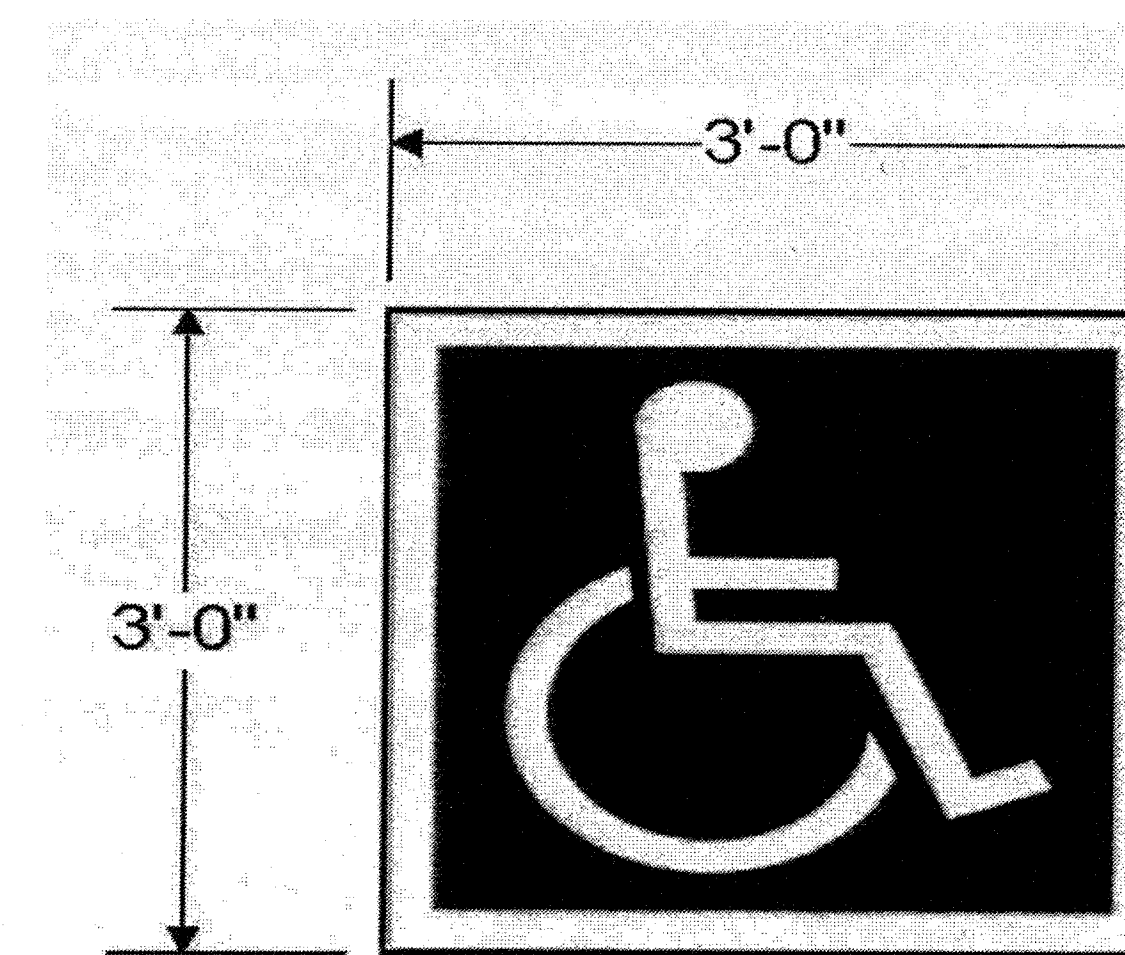
**SITE PLAN 3**



**DOUBLE ACCESSIBLE PARKING 18**



**SINGLE ACCESSIBLE PARKING 15**



**PARKING SPACE SIGNAGE 10**



**PARKING SPACE VERTICAL SIGNAGE 5**

**SHEET NOTES**

**GENERAL NOTES**



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Culver City, CA 90230  
Telephone: 310.312.0200  
Fax: 310.473.7468

APPROVED

PERMIT CENTER

CITY OF OXNARD

THIS SET OF PLANS AND SPECIFICATIONS MUST BE KEPT ON THE JOB SITE AT ALL TIMES AND IF IS

CHANGED, TO MAKE ANY CHANGES OR

ADDITIONS, THE ARCHITECT MUST BE

NOTIFIED IN WRITING. ANY CHANGES OR

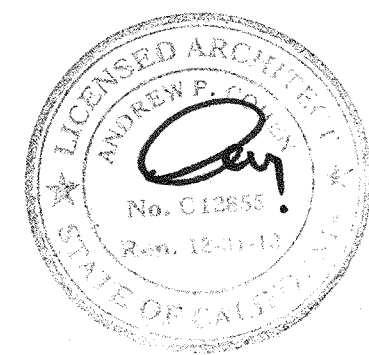
ADDITIONS MUST BE APPROVED BY THE PERMIT CENTER. THIS

SET OF PLANS AND SPECIFICATIONS SHALL NOT BE USED FOR ANY OTHER PROJECT WITHOUT THE WRITTEN

APPROVAL OF THE ARCHITECT AND PERMIT CENTER.

Issue	Date	Issue Description	By	Check
3	01	10/05/12	ES	SJ
REVISED FOR PLAN CHECK COMMENTS				
4	02	11/14/12	ES	SJ
REVISED FOR PLAN CHECK COMMENTS				
4	03	12/21/12	ES	SJ
PLAN CHECK				
6	04	01/22/13	ES	SJ
BULLETIN #4				
6	05	01/29/13	ES	SJ
BULLETIN #4				
6	06	02/21/13	ES	SJ
BULLETIN #4				

Seal/Signature



Project Name

VERIZON V.I.P.

Project Number

06.8740.000

CAD File Name

A00-10

Description

ACCESSIBILITY DIAGRAMS

Scale

**A00.50\_SD**

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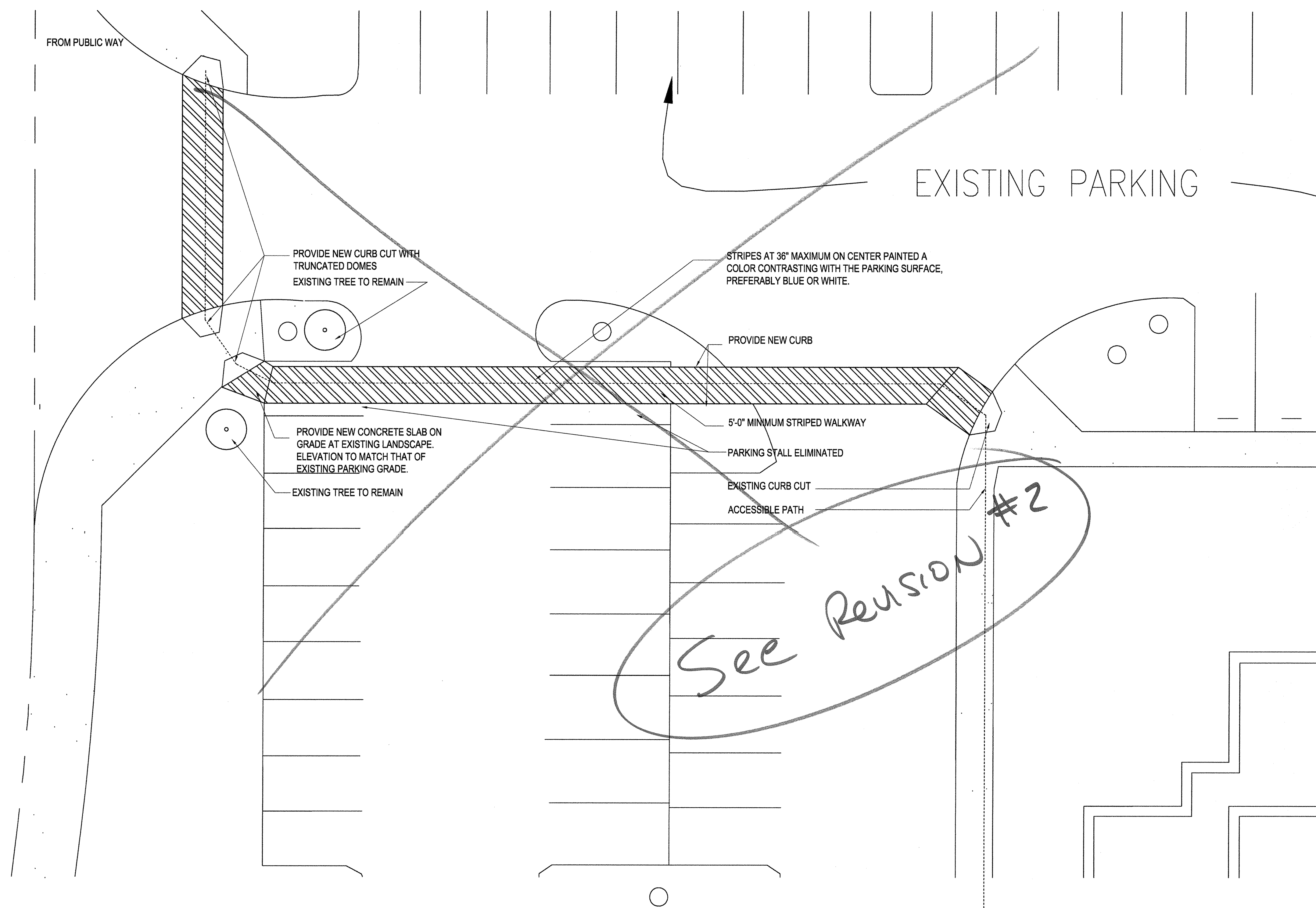


True North  
Ref North

TOTAL PARKING STALLS ON SITE CURRENTLY:  
 STANDARD 432  
 HANDICAP 9

REQUIRED PARKING STALLS - 1/250 SF  
 BUILDING AREA = 41,000 SF  
 41,000 SF/250 SF = 164 STALLS REQUIRED < 432 THEREFOR 2 STALLS CAN BE REMOVED TO  
 CREATE AN ACCESSIBLE WALKWAY TO THE BUILDING.

TOTAL AMOUNT OF LANDSCAPING DISTURBED = 66 SF



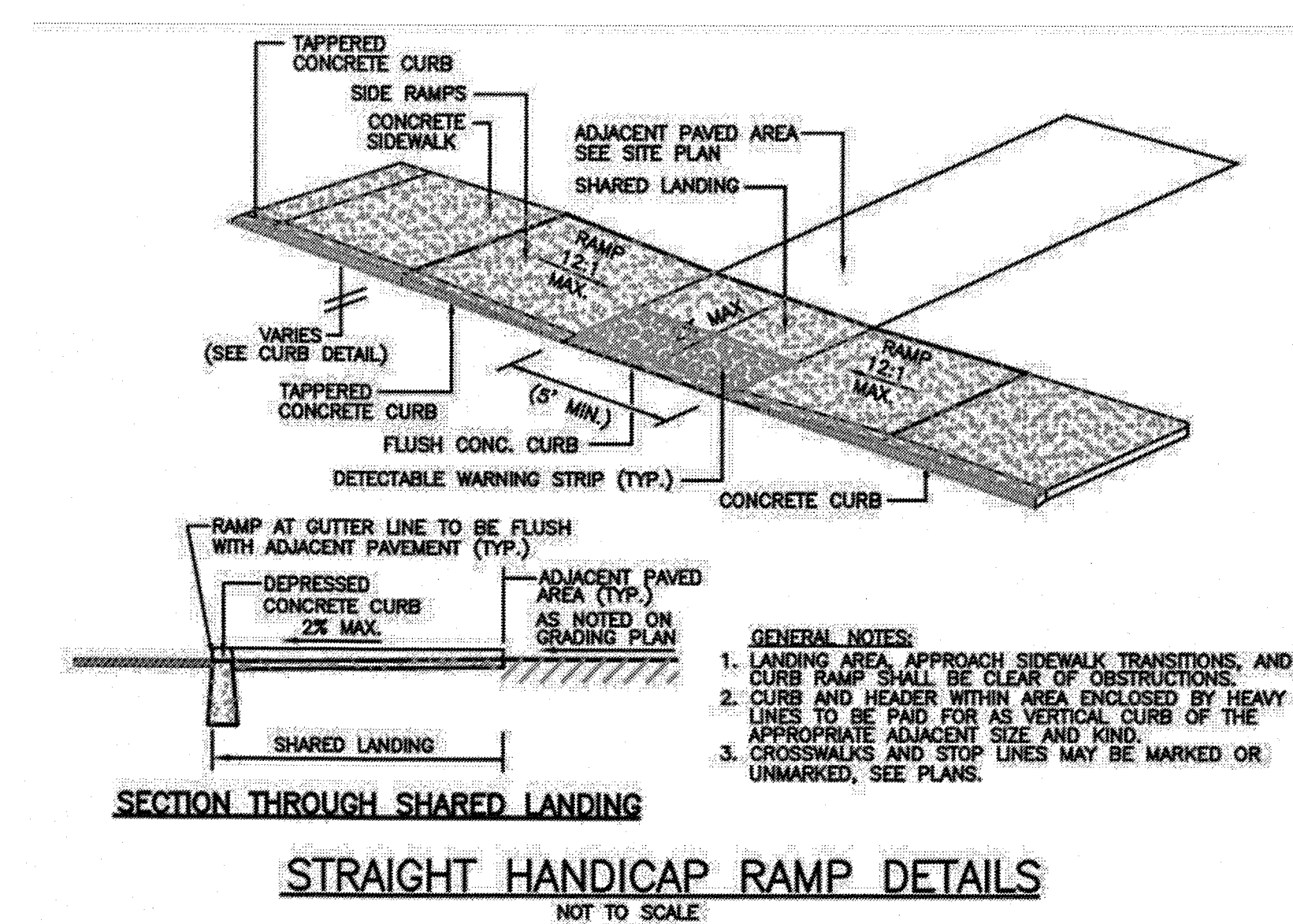
*See Revision #2*

**PARKING CALCULATIONS**

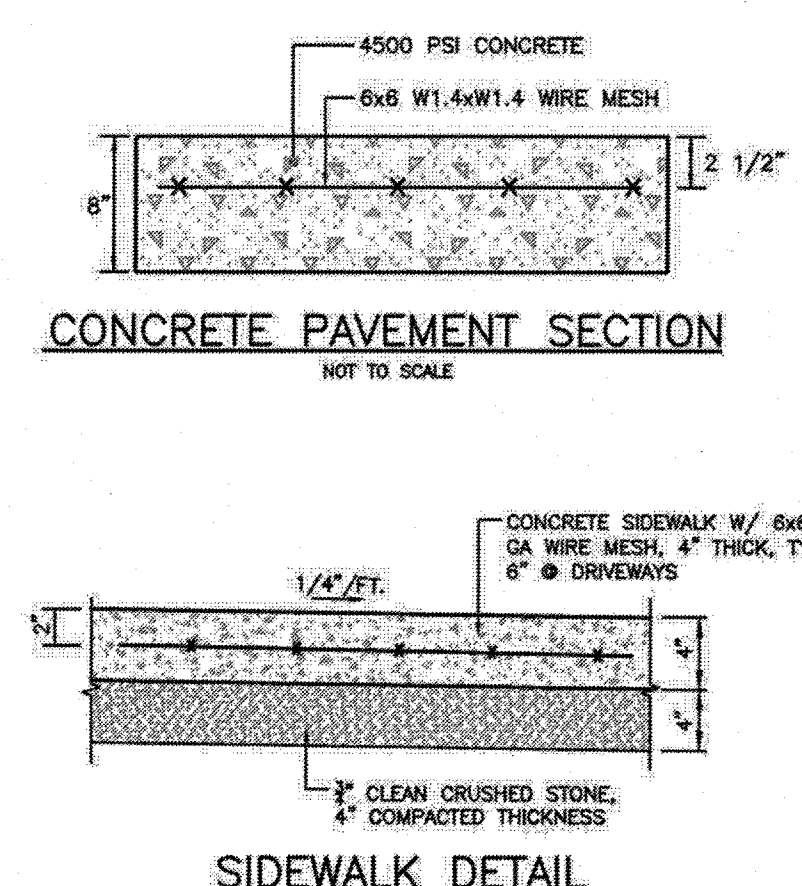
**18**

**ENLARGED SITE PLAN**

**3**

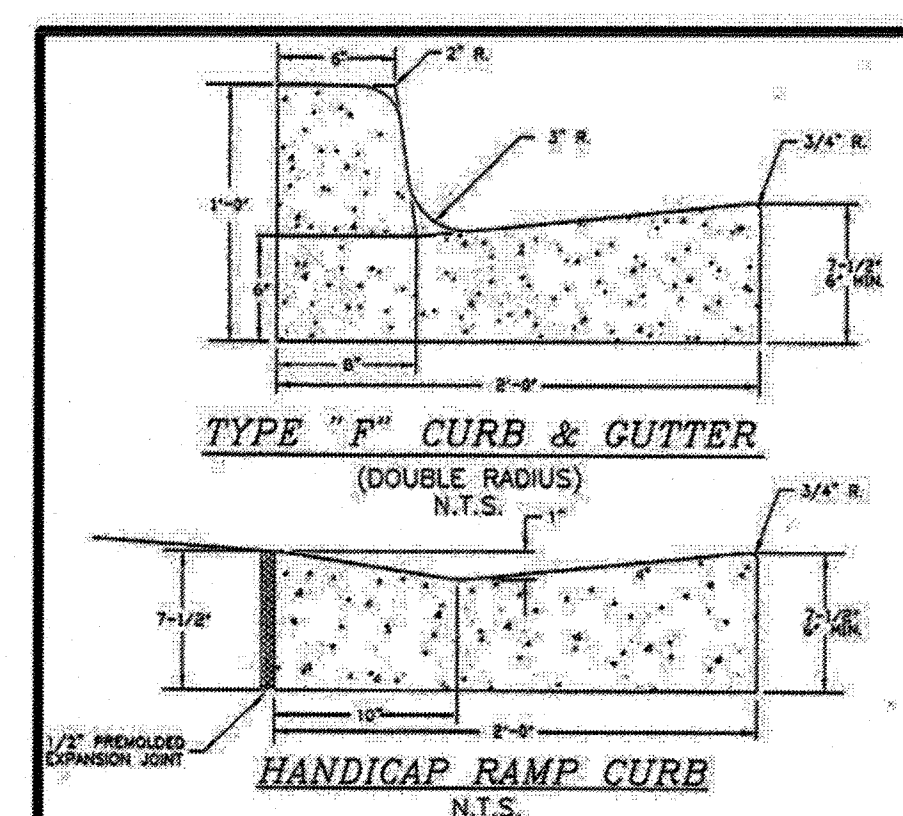


**STRAIGHT HANDICAP RAMP DETAILS**  
 NOT TO SCALE



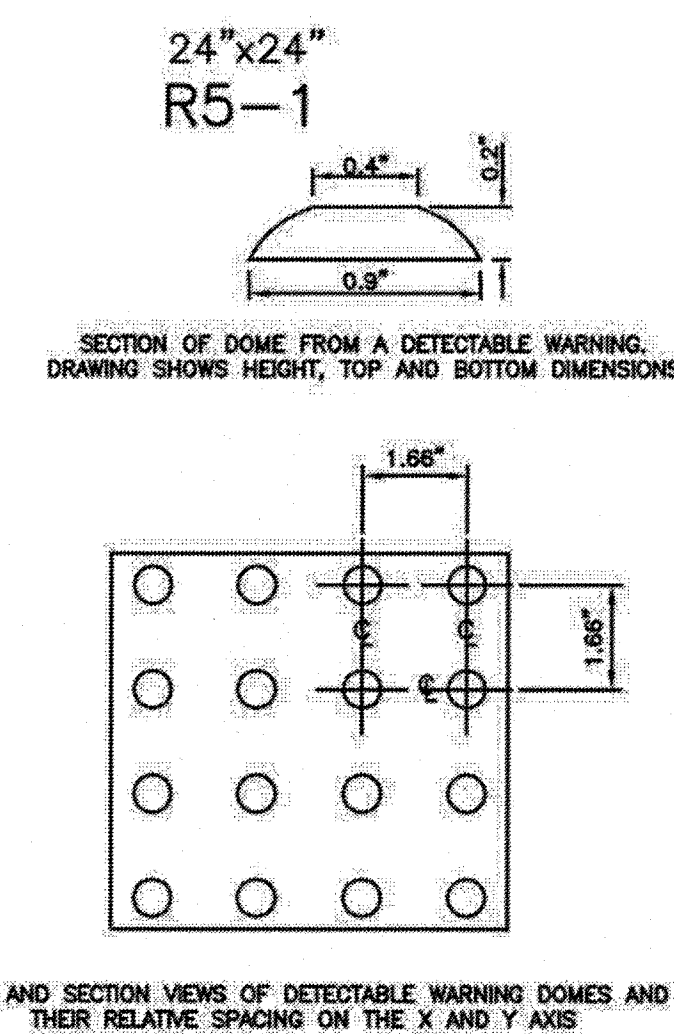
**CONCRETE PAVEMENT SECTION**  
 NOT TO SCALE

**SIDEWALK DETAIL**  
 NOT TO SCALE



**TYPE "F" CURB & GUTTER**  
 (DOUBLE RADIUS)  
 N.T.S.

**HANDICAP RAMP CURB**  
 N.T.S.



**SECTION OF DOME FROM A DETECTABLE WARNING.**  
 DRAWING SHOWS HEIGHT, TOP AND BOTTOM DIMENSIONS

**PLAN AND SECTION VIEWS OF DETECTABLE WARNING DOMES AND THEIR RELATIVE SPACING ON THE X AND Y AXIS**

**SIDEWALK DETAILS**

**15 CURB DETAILS**

**10 TRUNCATED DOME DETAIL**

**5**

**SHEET NOTES**

**GENERAL NOTES**



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 Oxnard, CA 93030



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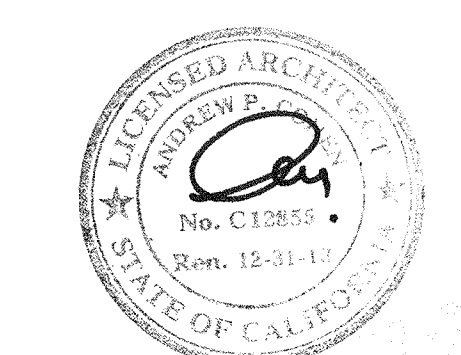


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Issue	Date & Issue Description	By	Check
4 01	12/21/12	ES	SJ
6 02	01/22/13	ES	SJ
6 03	01/29/13	ES	SJ
6 04	02/21/13	ES	SJ

APPROVED  
 CITY OF OXNARD  
 PROJECT NO. 12-11-12  
 SHEET NO. 18 OF 18  
 DRAWING NO. 12-11-12-18  
 DATE: 12/21/12

Seal/Signature



Project Name  
 VERIZON V.I.P.

Project Number  
 06.8740.000

CAD File Name  
 A00-10

Description  
 SITE MODIFICATIONS

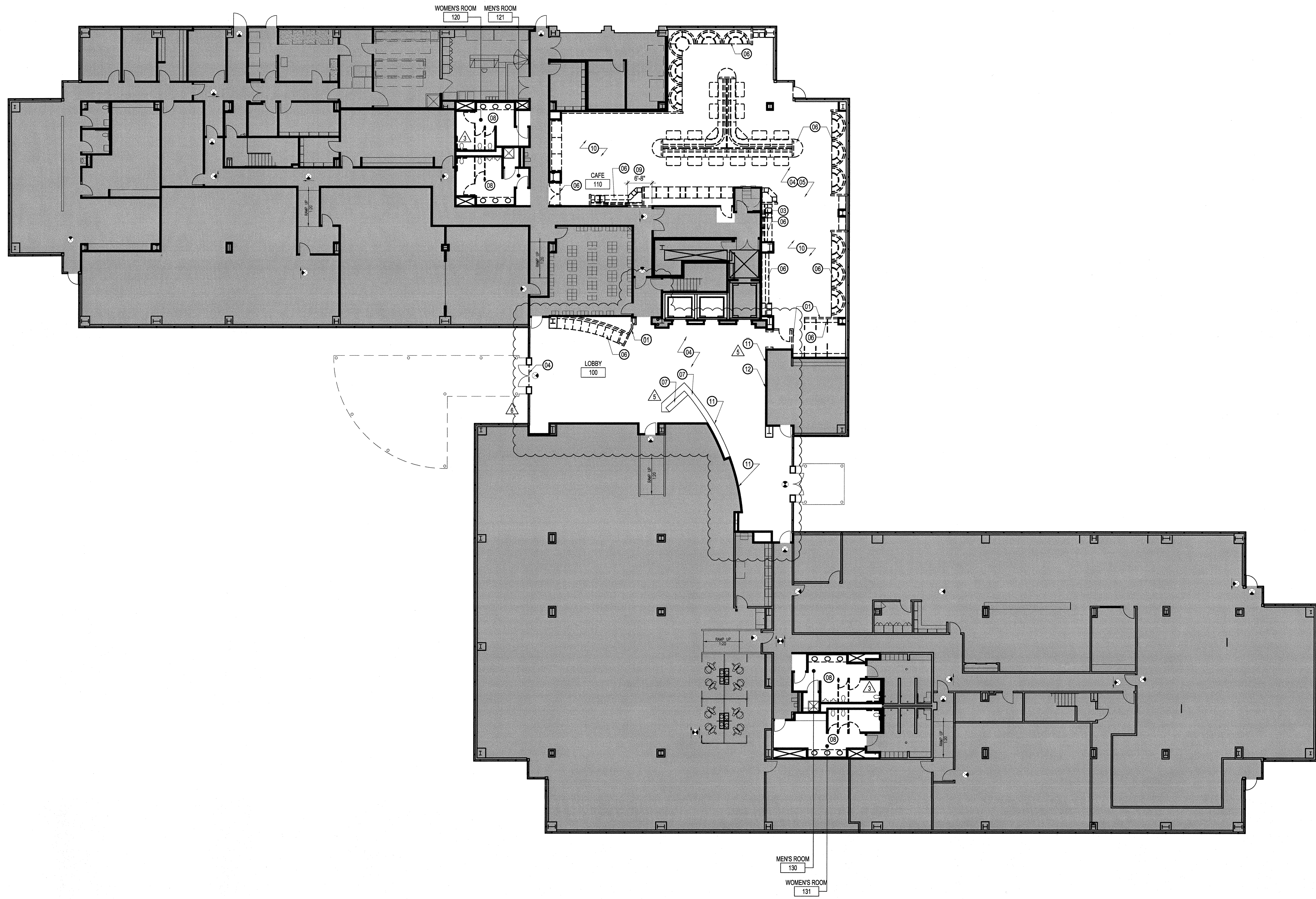
Scale

**A00.51\_SD**









**SHEET NOTES**

- (01) REMOVE EXISTING PARTITION
- (02) NOT USED.
- (03) REMOVE EXIST PLUMBING FIXTURES & CAP PIPING. SEE PLUMBING DRAWING FOR MORE INFO.
- (04) REMOVE EXISTING CARPET. PREPARE EXISTING GRANITE STONE FLOORING BENEATH CARPET TO RECEIVE SLIP-RESISTANT TREATMENT COATING.
- (05) REMOVE WALL FINISH IN THIS AREA.
- (06) DEMOLISH EXISTING MILLWORK.
- (07) EXISTING GRANITE COUNTERTOP TO REMAIN.
- (08) REMOVE EXISTING TOILET PARTITIONS, GRAB BARS, SINKS AND COUNTER.
- (09) DEMOLISH WALL AS INDICATED FOR NEW DOOR LOCATION. REFER TO CONSTRUCTION PLAN.
- (10) REMOVE EXISTING CEILING GRID AND TILES AND LIGHT FIXTURES.
- (11) REMOVE AND REFINISH EXISTING WALL PANELS AND DESK CLADDING PANELS WITH LACQUER FINISH TO MATCH PT1 WITH 65% SHEEN.
- (12) REMOVE AND SAVE EXISTING DISPLAY WALL SIGNAGE SYSTEM FOR REINSTALLATION IN SAME LOCATION AFTER CONSTRUCTION.



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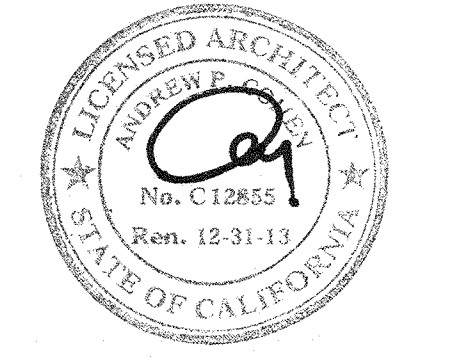
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1	04 08/10/12 ISSUED FOR CONSTRUCTION	ES/MC	SJ
3	05 10/05/12 REVISED FOR PLAN CHECK COMMENTS	ES/MC	SJ
4	06 12/21/12 PLAN CHECK	ES	SJ
5	07 11/19/12 BULLETIN #3	ES	SJ
6	08 01/22/13 BULLETIN #4	ES	SJ
6	09 01/29/13 BULLETIN #4	ES	SJ
6	10 02/21/13 BULLETIN #4	ES	SJ

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 PERMIT CENTER  
 CITY OF OAKLAND  
 1500 14TH AVENUE, SUITE 100  
 OAKLAND, CA 94612  
 (415) 774-2200  
 www.oakland.gov

**GENERAL NOTES**

1. PATCH & REPAIR ALL EXISTING WALLS TO REMAIN AFFECTED BY DEMOLITION WORK.
2. REFER TO MEP DRAWINGS FOR FURTHER INFORMATION ON ITEMS TO BE REMOVED.
3. PREPARE FOR NEW FLOORING AS SPECIFIED.
4. REMOVE EXISTING ROLLER SHADES AT NORTH, SOUTH AND WEST FACADE.
5. EXISTING CEILING TO REMAIN U.O.N.

Scale/Signature



Project Name  
VERIZON V.I.P.

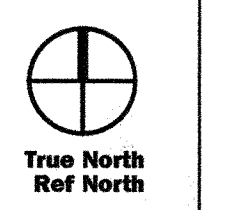
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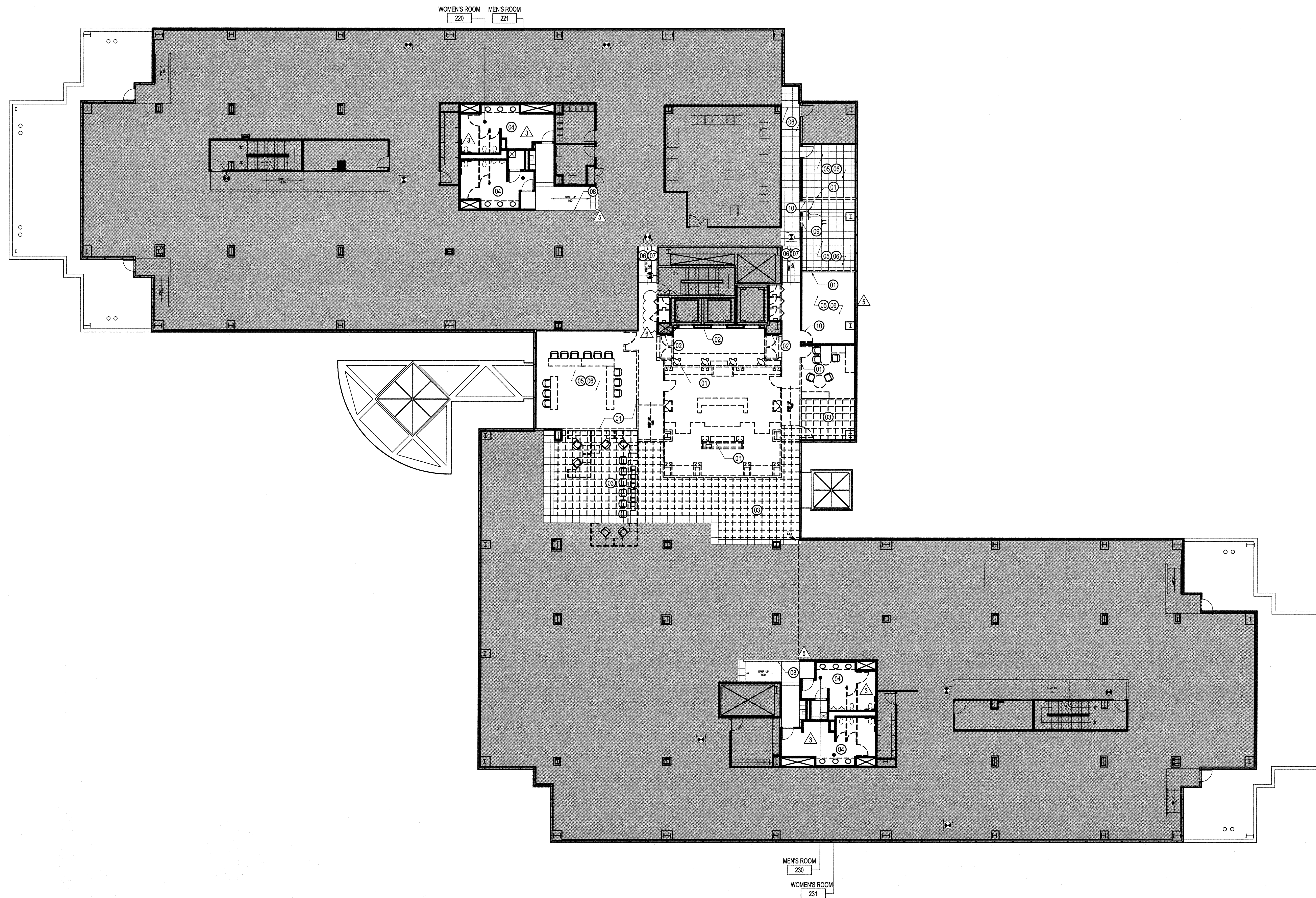
CAD File Name  
A01-01

Description  
FIRST FLOOR DEMOLITION PLAN

Scale  
3/32" = 1'-0"

**A01.01\_SD**





**SHEET NOTES**

- 01 REMOVE EXISTING PARTITION
- 02 REMOVE EXISTING FINISHES ON CORE WALL
- 03 REMOVE EXISTING RAISED FLOOR TILE. EVALUATE FOR POSSIBLE REUSE - SEE CONSTRUCTION PLAN FOR LOCATION.
- 04 REMOVE TOILET PARTITIONS, GRAB BARS, SINKS AND COUNTER.
- 05 REMOVE EXISTING CEILING TILES, GRID AND LIGHT FIXTURES IN ARE OF WORK. REFER TO REFLECTED CEILING PLAN FOR EXTENT AND NEW LAYOUT.
- 06 REMOVE EXIST. CARPET FLOOR FINISH. PREP SUBSTRATE FOR NEW FLOOR FINISH. SEE FINISH PLANS FOR EXTENT.
- 07 REMOVE EXISTING METAL CEILING GRID, METAL SCREENWORK, AND WALL FINISH IN THIS AREA. REMOVE EXISTING RECESSED LIGHTING IN METAL CEILING AND SAVE FOR REINSTALL AT SAME LOCATIONS IN NEW CEILING.
- 08 REMOVE EXISTING TOP CAP ON LOW WALL.
- 09 REMOVE EXIST PORTION OF WALL, COORDINATE SIZE OF OPENING WITH DOOR.
- 10 REMOVE AND SAVE EXISTING DOOR, FRAME AND ASSOCIATED HARDWARE. SEE CONSTRUCTION PLAN FOR RELOCATION.

**GENERAL NOTES**

1. PATCH & REPAIR ALL EXISTING WALLS TO REMAIN AFFECTED BY DEMOLITION WORK.
2. REFER TO MEP DRAWINGS FOR FURTHER INFORMATION ON ITEMS TO BE REMOVED.
3. PREPARE FOR NEW FLOORING AS SPECIFIED.
4. REMOVE EXISTING ROLLER SHADES AT NORTH, SOUTH AND WEST FACADE.
5. EXISTING CEILING TO REMAIN U.O.N.



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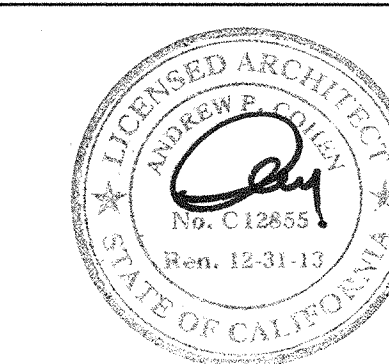
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A member company of SH Group, Inc.

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Issue	Date & Issue Description	By	Check
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02	07/13/12	ES/MS	SJ
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1	08/10/12	ES/MS	SJ
	ISSUED FOR CONSTRUCTION		
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	REVISED FOR PLAN CHECK COMMENTS		
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	PLAN CHECK		
5	11/19/12	ES	SJ
	BULLETIN #3		
6	02/21/13	ES	SJ
	BULLETIN #4		

APPROVED:  
PROJECT CENTER  
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VERIZON V.I.P.

Project Number  
06.8740.000

CAD File Name  
A01-01

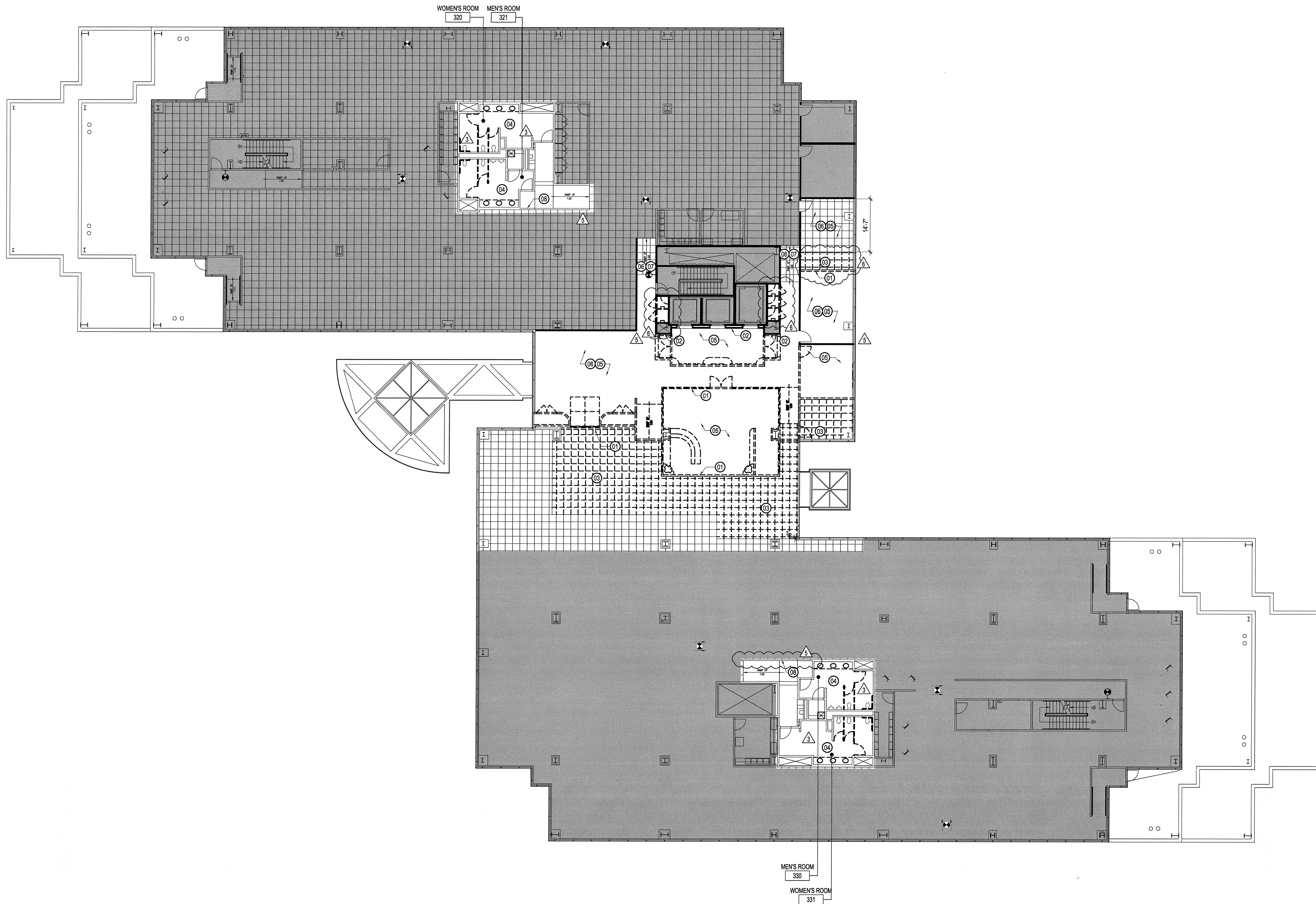
Description  
SECOND FLOOR DEMOLITION PLAN

Scale  
3/32" = 1'-0"

**A01.02\_SD**

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**SHEET NOTES**

- 01 REMOVE EXISTING PARTITION
- 02 REMOVE EXISTING FINISHES ON CORE WALL
- 03 REMOVE EXISTING RAISED FLOOR TILE. EVALUATE FOR POSSIBLE REUSE - SEE CONSTRUCTION PLAN FOR LOCATION.
- 04 REMOVE TOILET PARTITIONS, GRAB BARS, SINKS AND COUNTER.
- 05 REMOVE EXISTING CEILING TILES, GRID AND LIGHT FIXTURES IN ARE OF WORK. REFER TO REFLECTED CEILING PLAN FOR EXTENT AND NEW LAYOUT.
- 06 REMOVE EXIST. CARPET FLOOR FINISH. PREP SUBSTRATE FOR NEW FLOOR FINISH. SEE FINISH PLANS FOR EXTENT.
- 07 REMOVE EXISTING METAL CEILING GRID, METAL SCREENWORK, AND WALL FINISH IN THIS AREA. REMOVE EXISTING RECESSED LIGHTING IN METAL CEILING AND SAVE FOR REINSTALL AT SAME LOCATIONS IN NEW CEILING.
- 08 REMOVE EXISTING TOP CAP ON LOW WALL.
- 09 REMOVE EXIST. PORTION OF WALL, COORDINATE SIZE OF OPENING WITH DOOR.
- 10 REMOVE AND SAVE EXISTING DOOR, FRAME AND ASSOCIATED HARDWARE. SEE CONSTRUCTION PLAN FOR RELOCATION.



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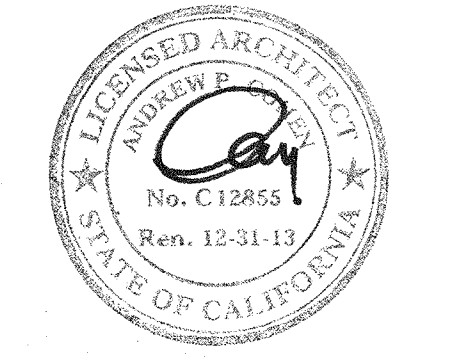
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ISSUED FOR CONSTRUCTION			
3	04 10/05/12	ES/MC	SJ
REVISED FOR PLAN CHECK COMMENTS			
4	05 12/21/12	ES	SJ
PLAN CHECK			
5	06 11/19/12	ES	SJ
BULLETIN #3			
6	07 02/21/13	ES	SJ
BULLETIN #4			

**GENERAL NOTES**

1. PATCH & REPAIR ALL EXISTING WALLS TO REMAIN AFFECTED BY DEMOLITION WORK.
2. REFER TO MEP DRAWINGS FOR FURTHER INFORMATION ON ITEMS TO BE REMOVED.
3. PREPARE FOR NEW FLOORING AS SPECIFIED.
4. REMOVE EXISTING ROLLER SHADES AT NORTH, SOUTH AND WEST FACADE.
5. EXISTING CEILING TO REMAIN U.O.N.

APPROVED:  
PERMIT CENTER  
THIS SET OF PLANS AND SPECIFICATIONS SHALL BE REVIEWED TO MAKE ANY CHANGES AND TO OBTAIN PERMITS FROM THE PERMIT CENTER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR OBTAINING ALL NECESSARY APPROVALS FROM THE PERMIT CENTER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY APPROVALS FROM THE PERMIT CENTER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY APPROVALS FROM THE PERMIT CENTER.

Seal/Signature



Project Name  
VERIZON V.I.P.

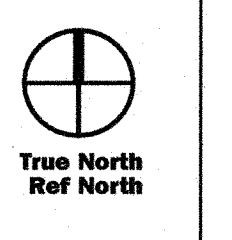
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CAD File Name  
A01-01

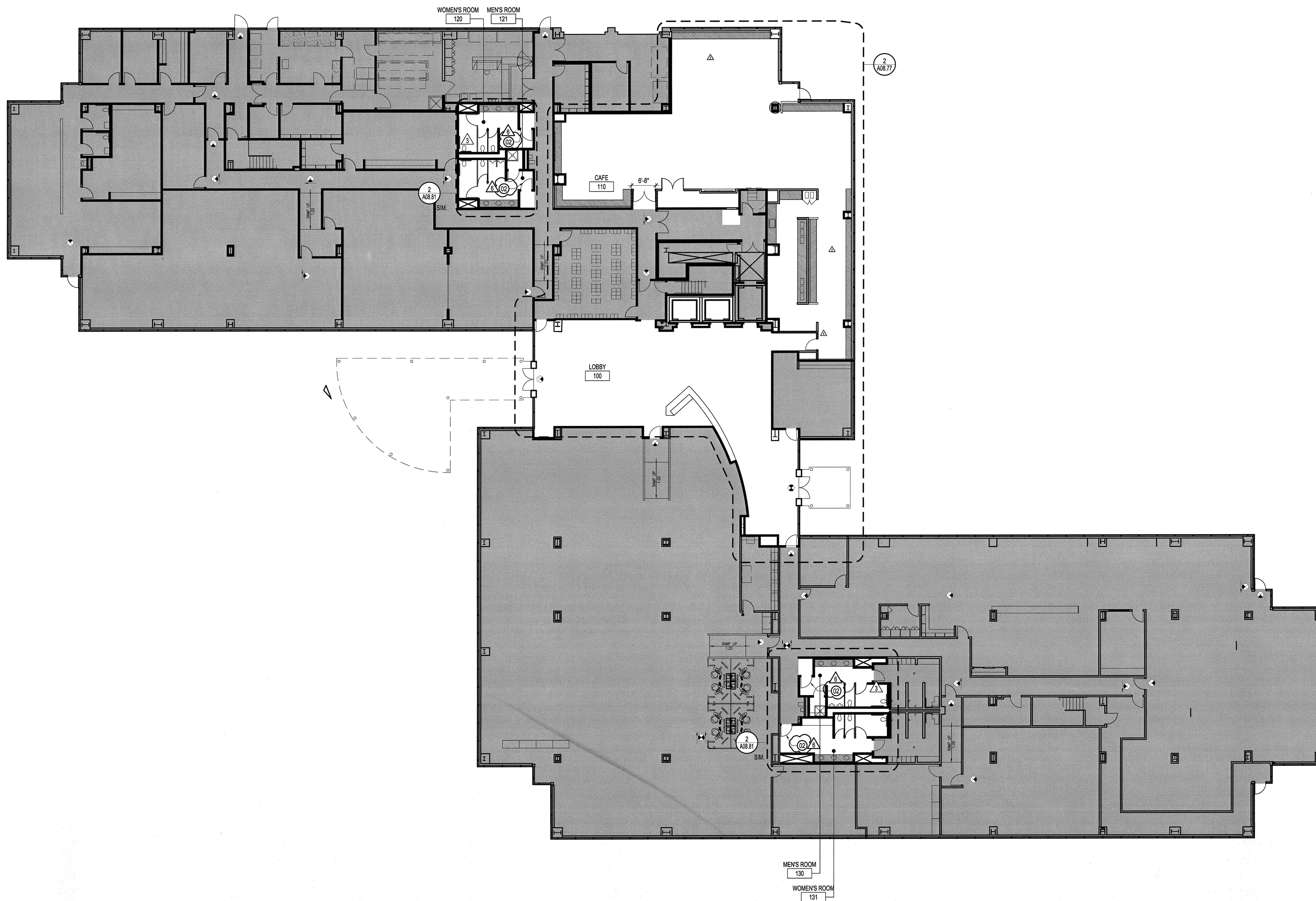
Description  
THIRD FLOOR DEMOLITION PLAN

Scale  
3/32" = 1'-0"

**A01.03\_SD**







**SHEET NOTES**

- ① EXISTING ELEVATOR CAB SIZE CANNOT BE MADE COMPLIANT DUE TO STRUCTURAL IMPRACTICALITY
- ② REPLACE EXISTING LATCHSET WITH NEW BLANK STRIKES AND PUSH/PULL HARDWARE.

**GENERAL NOTES**

1. ALL WALLS IN SCOPE TO RECEIVE PAINT, PT1 AND BASE, R81 U.O.N.
2. SEE A13.03 FOR ADDITIONAL MONUMENT LOCATIONS AND DETAILS.
3. INSTALL NEW ROLLER SHADE IN EXISTING BRACKETS ON NORTH, SOUTH, AND WEST FACADES.
4. FURNITURE VENDOR TO PROVIDE QUANTITY OF FURNITURE NOTED/TAGGED.
5. ALL NEW FURNITURE IS PROVIDED AND INSTALLED BY FURNITURE VENDOR.
6. REFER TO AV PACKAGE FOR ALL AV EQUIPMENT INFORMATION WHERE APPLICABLE.
7. VERIFY FURNITURE DIMENSIONS FOR LAYOUT IN FIELD.
8. SEE FURNITURE SPECIFICATION DOCUMENT FOR ALL NEW FURNITURE NOTED/TAGGED.



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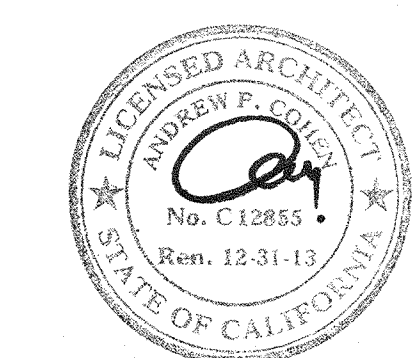


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02	07/31/12	ESIMC	SJ
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4	06 12/21/12	ES	SJ
5	07 11/19/12	ES	SJ
6	08 02/21/13	ES	SJ
7	09 03/12/13	ES	SJ

APPROVED:  
 [Signature]  
 PROJECT CENTER  
 CITY OF Oxnard  
 THE CITY OF Oxnard hereby certifies that the above information is true and correct as shown on the site at all times and in all respects. The City of Oxnard is not responsible for any errors or omissions in this document. The City of Oxnard is not responsible for any errors or omissions in this document. The City of Oxnard is not responsible for any errors or omissions in this document.

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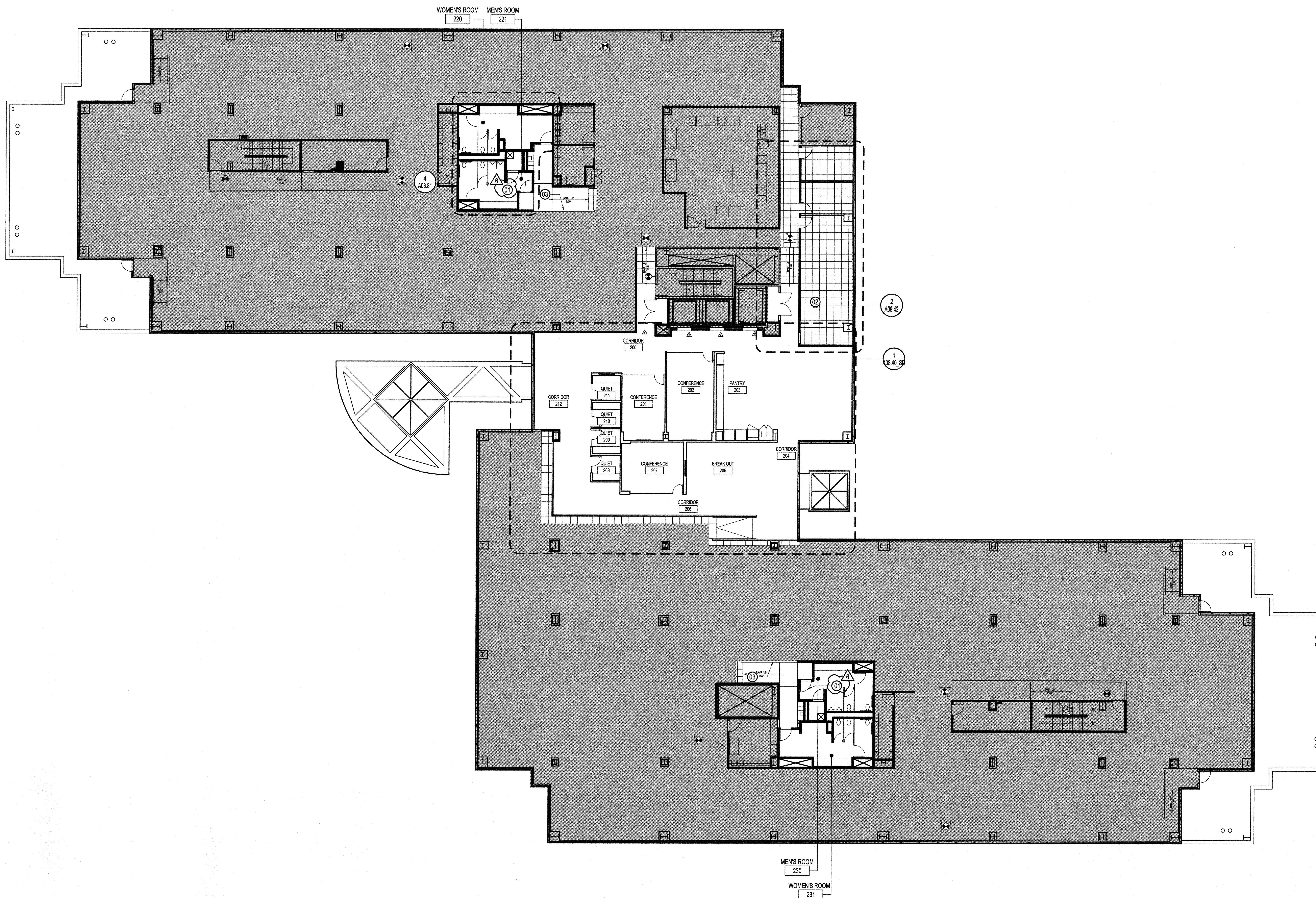
Project Name  
VERIZON V.I.P.

Project Number  
06.8740.000  
CAD File Name  
A01-01  
Description  
FIRST FLOOR CONSTRUCTION PLAN

Scale  
3/32" = 1'-0"

A02.01\_SD

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**SHEET NOTES**

- ① REPLACE EXISTING LATCHSET WITH NEW BLANK STRIKES AND PUSH/PULL HARDWARE.
- ② NEW OR RELOCATED RAISED FLOOR TILE & PEDESTALS. REFER TO SPECIFICATIONS FOR INFO ON NEW RAISED FLOOR SYSTEMS.
- ③ PROVIDE NEW PAINT GRADE WOOD CAP ON EXIST LOW WALL. PAINT TO MATCH EXIST WALL COLOR.

**GENERAL NOTES**

- 1. FOR FURTHER INFORMATION SEE A08 SERIES.
- 2. INSTALL NEW ROLLER SHADE IN EXISTING BRACKETS ON NORTH, SOUTH, AND WEST FACADES.



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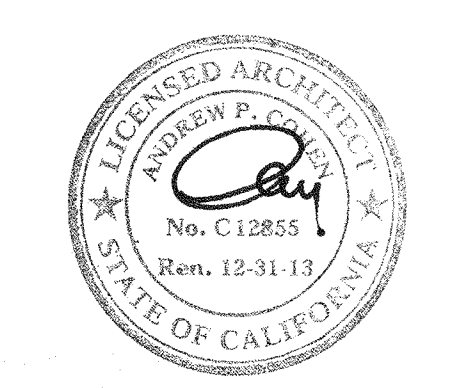
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Calver City, CA 90230  
Telephone: 310.312.0200  
Fax: 310.473.7468

Issue	Date & Issue Description	By	Check
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02	07/31/12 Issued for Plan Check	ESIMC	SJ
1	03 08/10/12 ISSUED FOR CONSTRUCTION	ESIMC	SJ
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4	05 1/21/12 PLAN CHECK	ES	SJ
5	06 11/19/12 BULLETIN #3	ES	SJ
6	07 02/21/13 BULLETIN #4	ES	SJ
7	08 03/12/13 BULLETIN #4 REVISED	ES	SJ

APPROVED  
CITY OF OAKLAND  
PERMIT CENTER  
I hereby certify that the above described project complies with all applicable provisions of the City of Oakland Building Ordinance, Title 22, Chapter 2, and all other applicable laws, rules, regulations, codes, and standards of the City of Oakland, California, and that the project is in compliance with all applicable laws, rules, regulations, codes, and standards of the City of Oakland, California.

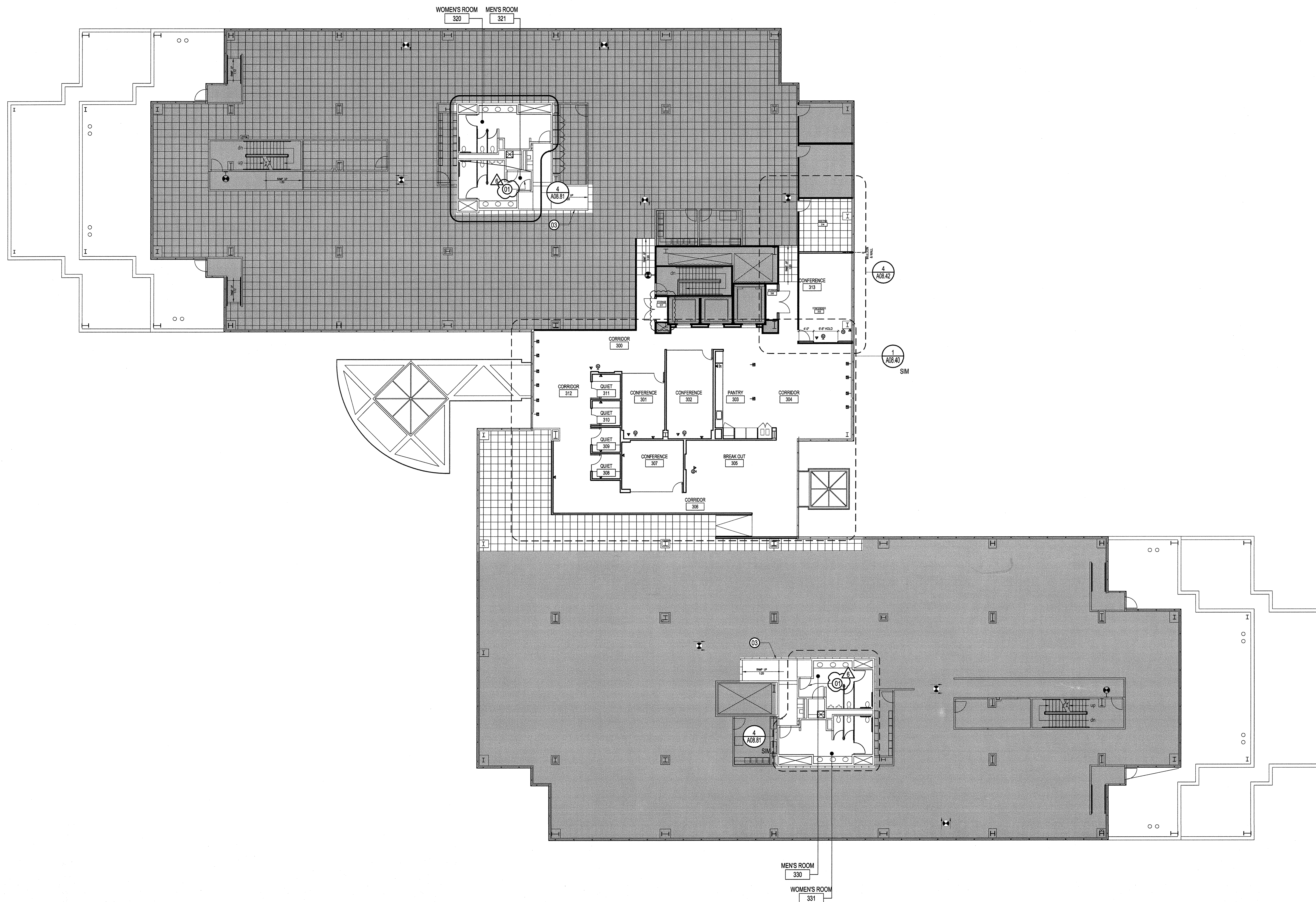
Seal/Signature



Project Name  
VERIZON V.I.P.  
Project Number  
06.8740.000  
CAD File Name  
A01-01  
Description  
SECOND FLOOR CONSTRUCTION PLAN

Scale  
3/32" = 1'-0"

**A02.02\_SD**



**SHEET NOTES**

- ① REPLACE EXISTING LATCHSET WITH NEW BLANK STRIKES AND PUSH/PULL HARDWARE.
- ② NEW OR RELOCATED RAISED FLOOR TILE & PEDESTALS. REFER TO SPECIFICATIONS FOR INFO ON NEW RAISED FLOOR SYSTEMS.
- ③ PROVIDE NEW PAINT GRADE WOOD CAP ON EXIST LOW WALL. PAINT TO MATCH EXIST WALL COLOR.

**GENERAL NOTES**

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- 2. INSTALL NEW ROLLER SHADE IN EXISTING BRACKETS ON NORTH, SOUTH, AND WEST FACADES.



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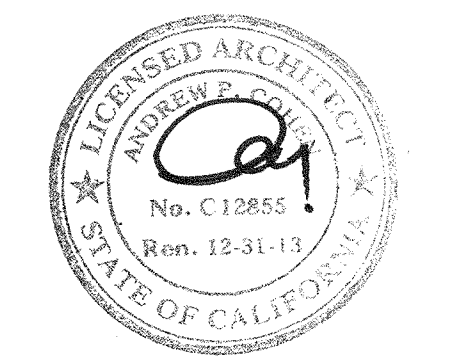


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Issue	Date & Issue Description	By	Check
01	06/22/12 PROGRESS SET	SJ	SJ
02	07/31/12 Issued for Plan Check	ES/SMC	SJ
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7	09 03/12/13 BULLETIN #4 REVISED	ES	SJ

APPROVED  
PERIOD CENTER  
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Seal/Signature



Project Name  
VERIZON V.I.P.

Project Number  
06.8740.000

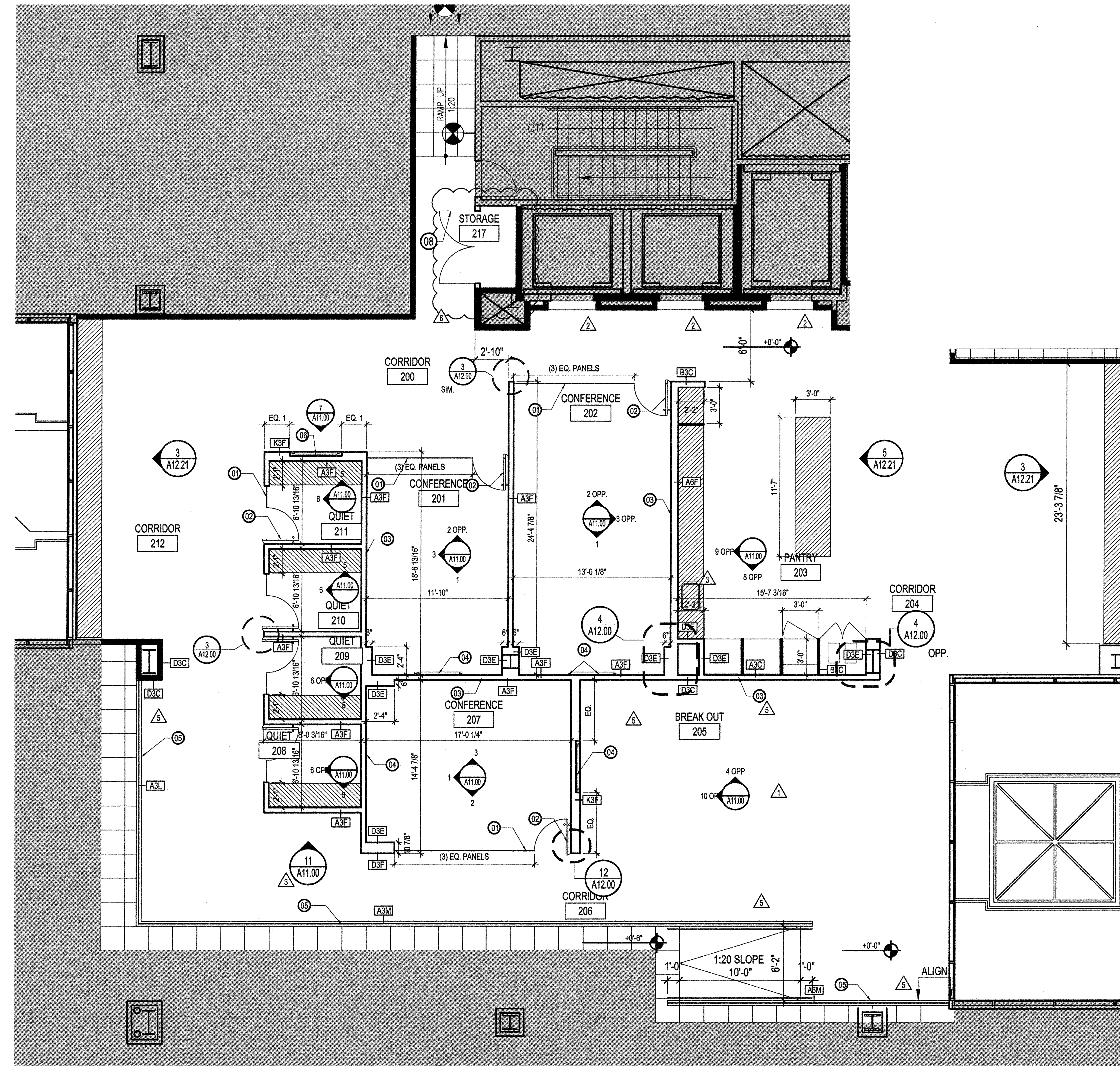
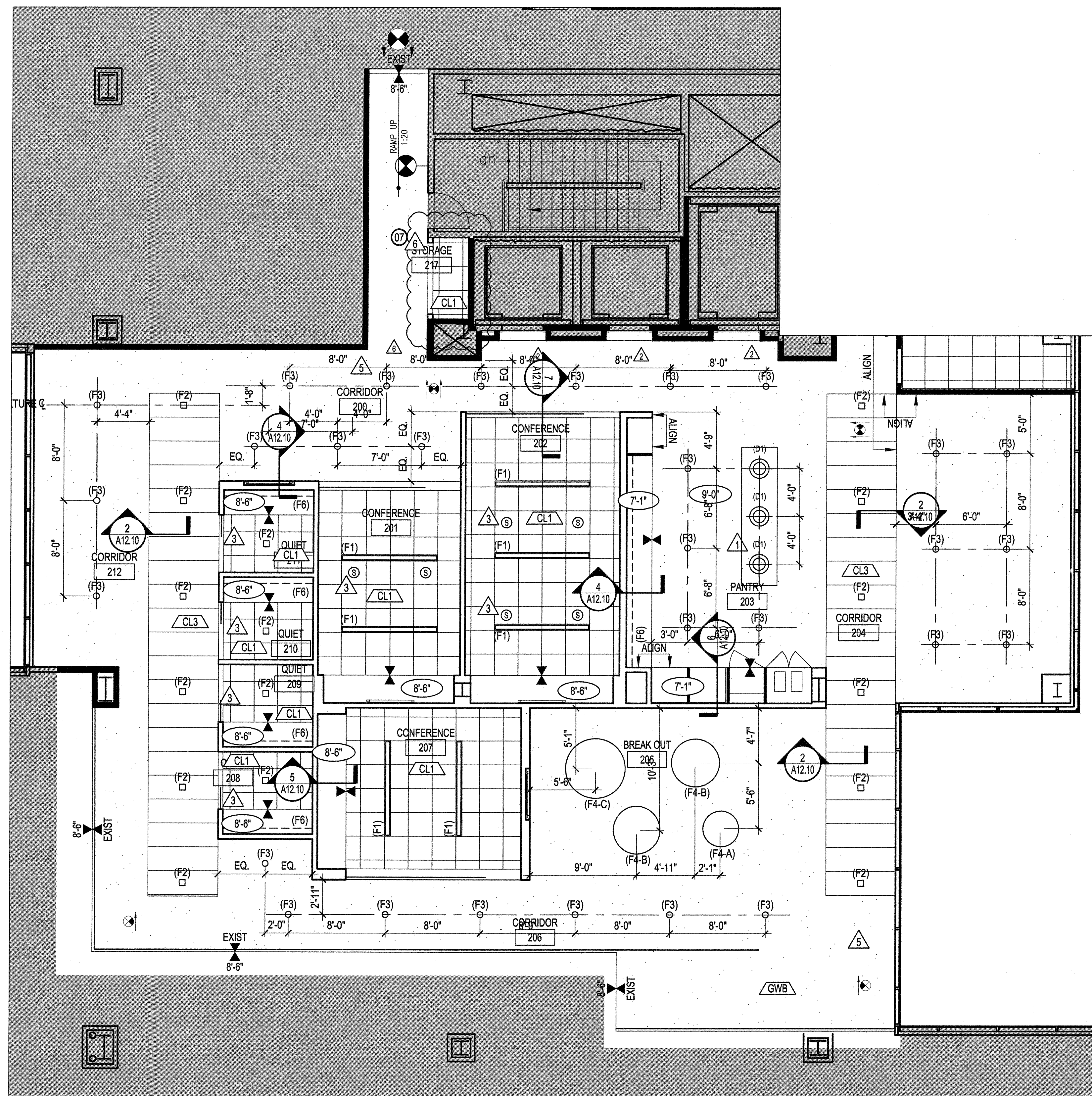
CAD File Name  
A01-01

Description  
THIRD FLOOR CONSTRUCTION PLAN

Scale  
3/32" = 1'-0"

**A02.03\_SD**





**SHEET NOTES**

- (01) 1/2" THICK TEMPERED GLASS, BUTT GLAZED W/ STRUCTURAL SILICONE JOINTS, IN 1" ALUMINUM CHANNEL.
- (02) TEMPERED GLASS DOOR IN ALUMINUM FRAME.
- (03) PROVIDE BLOCKING FOR MARKERBOARD. SEE ELEVATIONS FOR LOCATION.
- (04) PROVIDE BLOCKING FOR MONITOR. COORDINATE HEIGHT WITH AV DRAWINGS.
- (05) WALL TYPE A3M HEIGHT 4'-0" ABOVE SLAB. PROVIDE GL1 GLASS PARTITION ABOVE GYPSUM PARTITION. GLASS PARTITION TO BE 1/2" TEMPERED, BUTT GLAZED W/ STRUCTURAL SILICONE JOINTS, IN 1" ALUMINUM FRAME.
- (06) PROVIDE BLOCKING FOR MONITOR.
- (07) REINSTALL EXISTING LIGHTS IN NEW CEILING AT ORIGINAL LOCATIONS.
- (08) NEW HM DOORS AND FRAME. 1-1/2" PAIR HINGES PER DOOR, OVERHEAD SURFACE MOUNTED CLOSER, MORTISE LOCKSET - STOREROOM FUNCTION, DUMMY TRIM ON INACTIVE LEAF, FLUSH BOLT, OVERHEAD STOP, SILENCERS.

**LEGEND**

- (F1) 8' X 6' RECESSED FLUORESCENT.
- (F2) 4 1/2" SQUARE LED DOWNLIGHT.
- (F3) 4 1/2" ROUND LED DOWNLIGHT.
- (F4-A) 36" ROUND FLUORESCENT.
- (F4-B) 48" ROUND FLUORESCENT.
- (F4-C) 60" ROUND FLUORESCENT.
- (F4-D) 24" ROUND FLUORESCENT.
- (F5) 2' X 4' RECESSED FLUORESCENT.
- (F5A) 6' X 4' RECESSED FLUORESCENT.
- (F5B) 4' CONTINUOUS RUN RECESSED FLUORESCENT. LENTH VARIES IN WHOLE FEET.
- (F6) 3" MICRO STAGGERED CHANNEL.
- (F7) 1' LED MODULAR TASK LIGHT.
- (F8) LED LINEAR FLEX LIGHT.
- (F9) REMOTE STRIP LIGHT.
- (F10) 6' CONTINUOUS RUN RECESSED FLUORESCENT. LENTH VARIES IN WHOLE FEET.
- (F11) 4' X 8' VERTICAL RECESSED FLUORESCENT.
- (F12) 24" X 24" RECESSED FLUORESCENT.
- (D1) 19 1/2" DECORATIVE PENDANT LIGHT FIXTURE.
- (D2) 3.7" DECORATIVE PENDANT LIGHT FIXTURE.

**GENERAL NOTES**

1. REFER TO PROJECT MANUAL FOR LIGHTING SCHEDULE.
2. ALL CEILING HEIGHTS SHOWN ABOVE FINISHED FLOOR, UN.

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Issue	Date & Issue Description	By	Check
01	06/22/12 PROGRESS SET	SJ	SJ
02	07/31/12 Issued for Plan Check	ESIMC	SJ
1	03 08/10/12 ISSUED FOR CONSTRUCTION	ESIMC	SJ
3	04 10/05/12 REVISED FOR PLAN CHECK COMMENTS	ESIMC	SJ
4	05 12/21/12 PLAN CHECK	ES	SJ
5	06 11/19/12 BULLETIN #3	ES	SJ
6	07 02/21/13 BULLETIN #4	ES	SJ

Seal/Signature

Project Name  
VERIZON V.I.P.

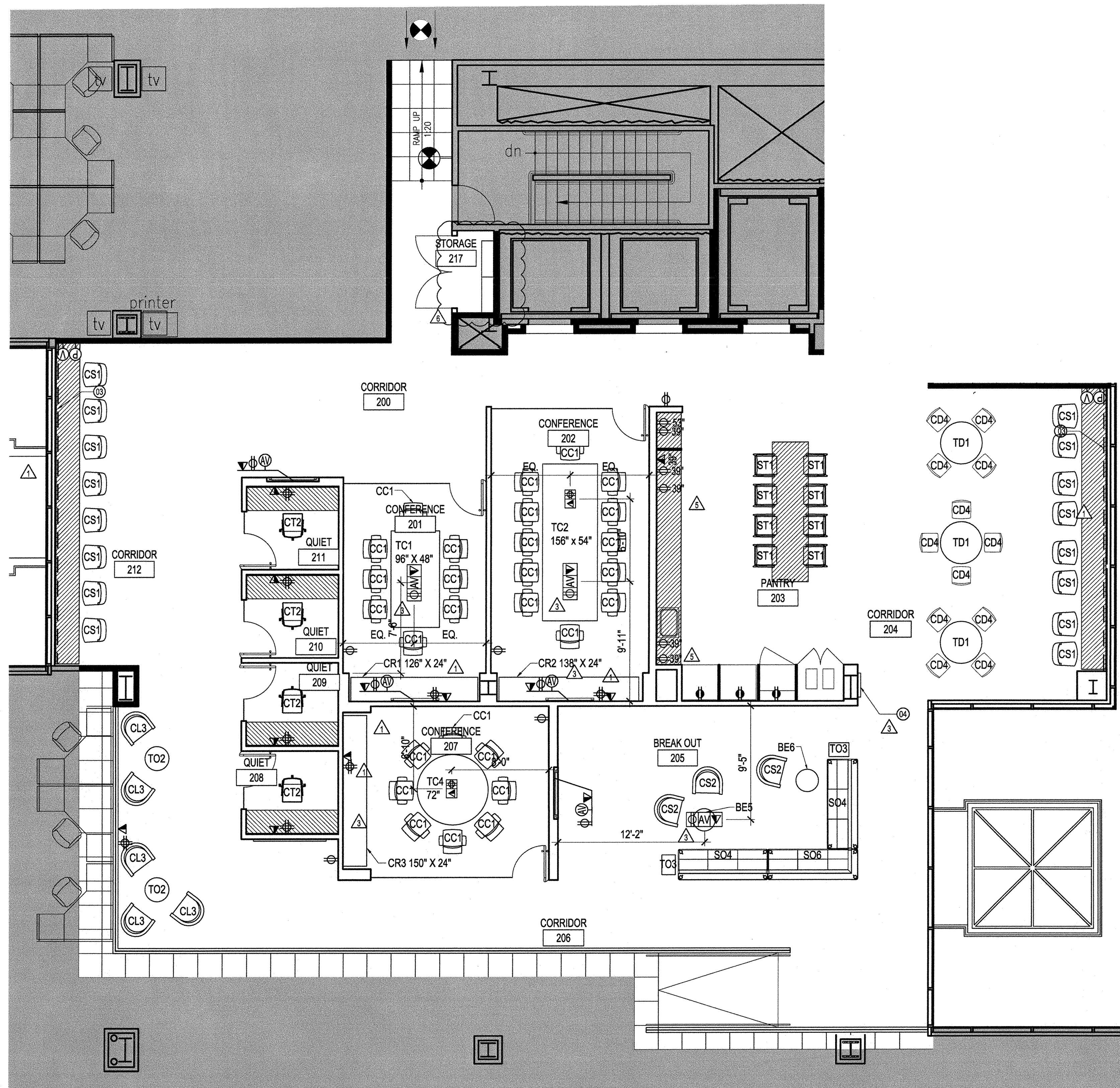
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06.8740.000  
CAD File Name

Description  
ENLARGED PLANS

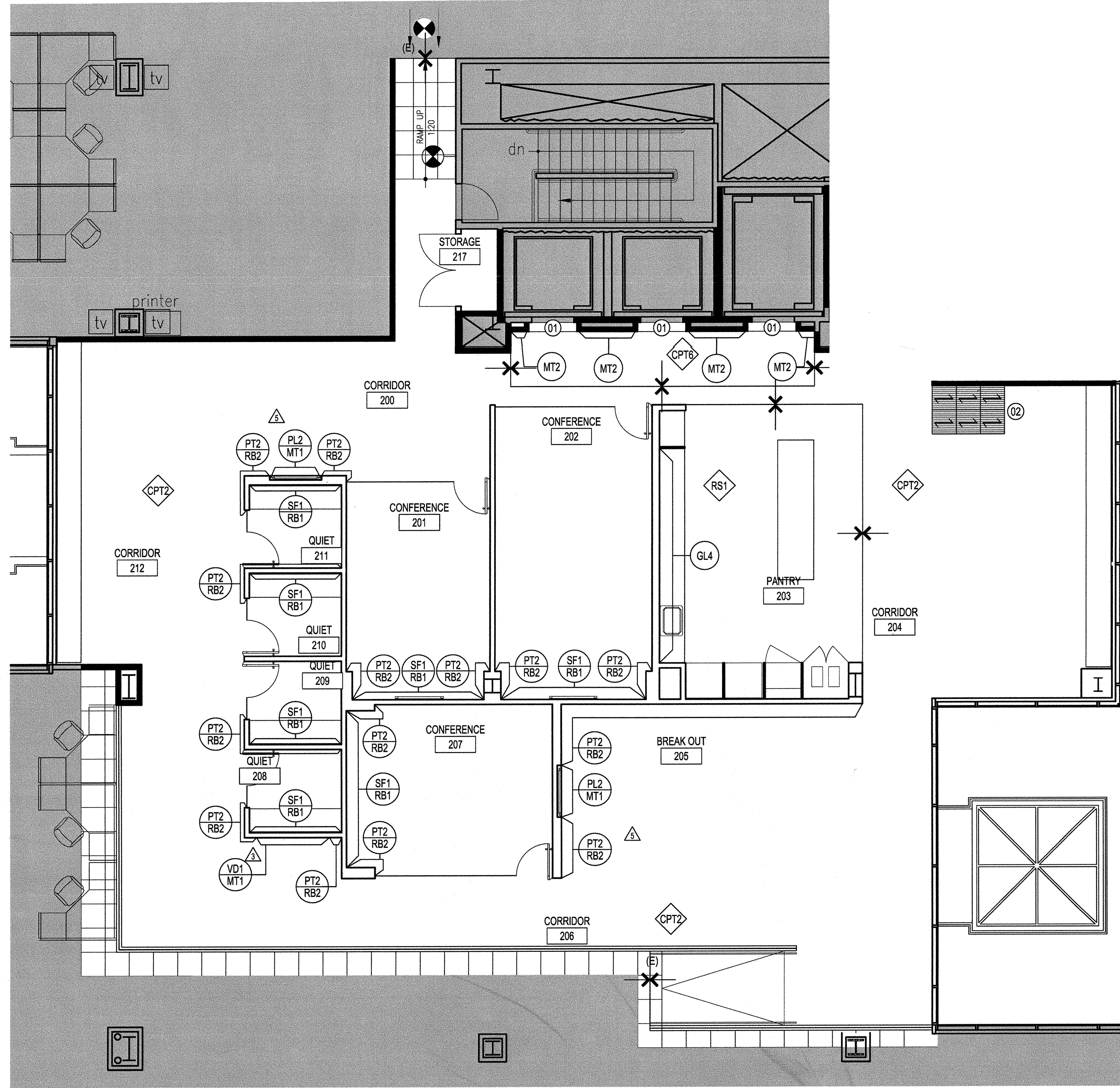
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**A08.40\_SD**

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POWER AND FURNITURE PLAN



FINISH PLAN

SHEET NOTES

- 01 EXISTING STAINLESS STEEL ELEVATOR DOORS AND FRAMES TO REMAIN. CLEAN AND POLISH.
- 02 CARPET TO BE INSTALLED WITH MONOLITHIC LAYOUT WITH PATTERN DIRECTION AS SHOWN.
- 03 PLUGMOLD WITH POWER AND DATA OUTLETS @ 6'-0" O.C.
- 04 NEW WALL MOUNTED GLASS DISPLAY CASE BY PETER PEPPER, 24"W x 36"H, ANODIZED ALUMINUM FRAME, TACKABLE SURFACE TO BE STANDARD FORBO 2202.

GENERAL NOTES

1. ALL UNTAGGED WALLS TO RECEIVE PT1 PAINT AND RB1 BASE.
2. ALL GLASS WALLS AND DOORS TO BE GL1 WITH GF1 FILM APPLIED AS INDICATED IN ELEVATION.
3. ALL CONFERENCE TABLES TO HAVE POWER/DATA/W/BOX AT TABLE LEVEL. PROVIDE POKE THRU AT FLOOR SLAB. SEE ELECTRICAL DRAWINGS FOR FURTHER INFORMATION.
4. FURNITURE VENDOR TO PROVIDE QUANTITY OF FURNITURE NOTED/TAGGED.
5. ALL NEW FURNITURE IS PROVIDED AND INSTALLED BY FURNITURE VENDOR.
6. REFER TO AV PACKAGE FOR ALL AV EQUIPMENT INFORMATION WHERE APPLICABLE.
7. VERIFY FURNITURE DIMENSIONS FOR LAYOUT INFIELD.
8. SEE FURNITURE SPECIFICATION DOCUMENT FOR ALL NEW FURNITURE NOTED/TAGGED.



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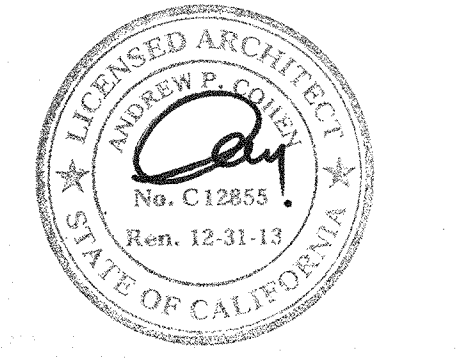


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Issue	Date & Issue Description	By	Check
01	06/22/12	SJ	SJ
02	07/31/12	ES/MC	SJ
	Issued for Plan Check		
1	08/10/12	ES/MC	SJ
	ISSUED FOR CONSTRUCTION		
04	09/04/12	SLR	SJ
	ISSUED FOR FURN PRICING		
2	09/12/12	ES/MC	SJ
	BULLETIN #1		
3	10/05/12	ES/MC	SJ
	REVISED FOR PLAN CHECK COMMENTS		
4	12/21/12	ES	SJ
	PLAN CHECK		
5	11/19/12	ES	SJ
	BULLETIN #3		
6	02/21/13	ES	SJ
	BULLETIN #4		

APPROVED:  
PROJECT DESIGNER  
DATE: 02/21/13  
PROJECT: VERIZON V.I.P.  
DRAWING NO: 06.8740.000  
SCALE: 3/16" = 1'-0"

Seal/Signature



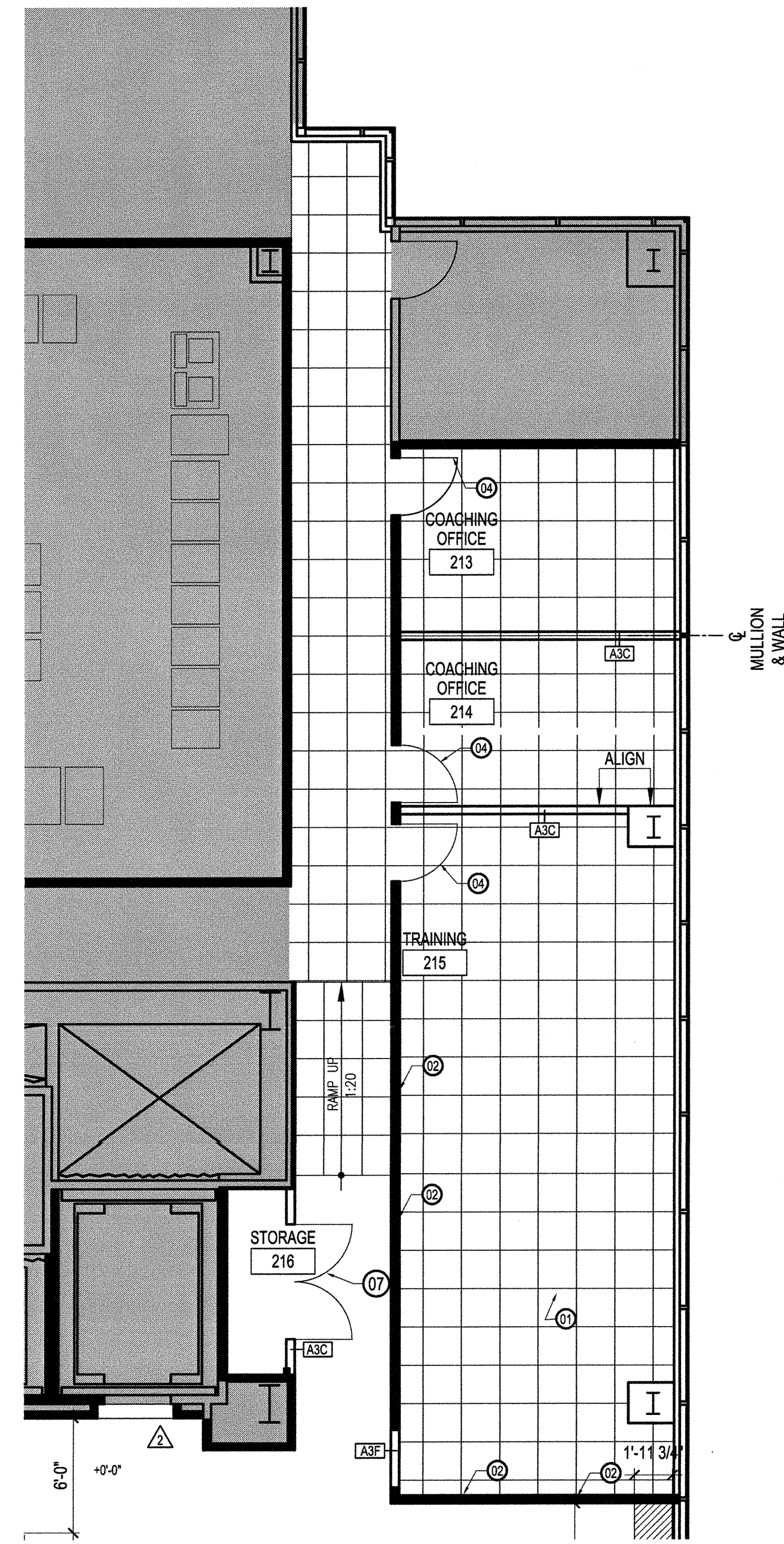
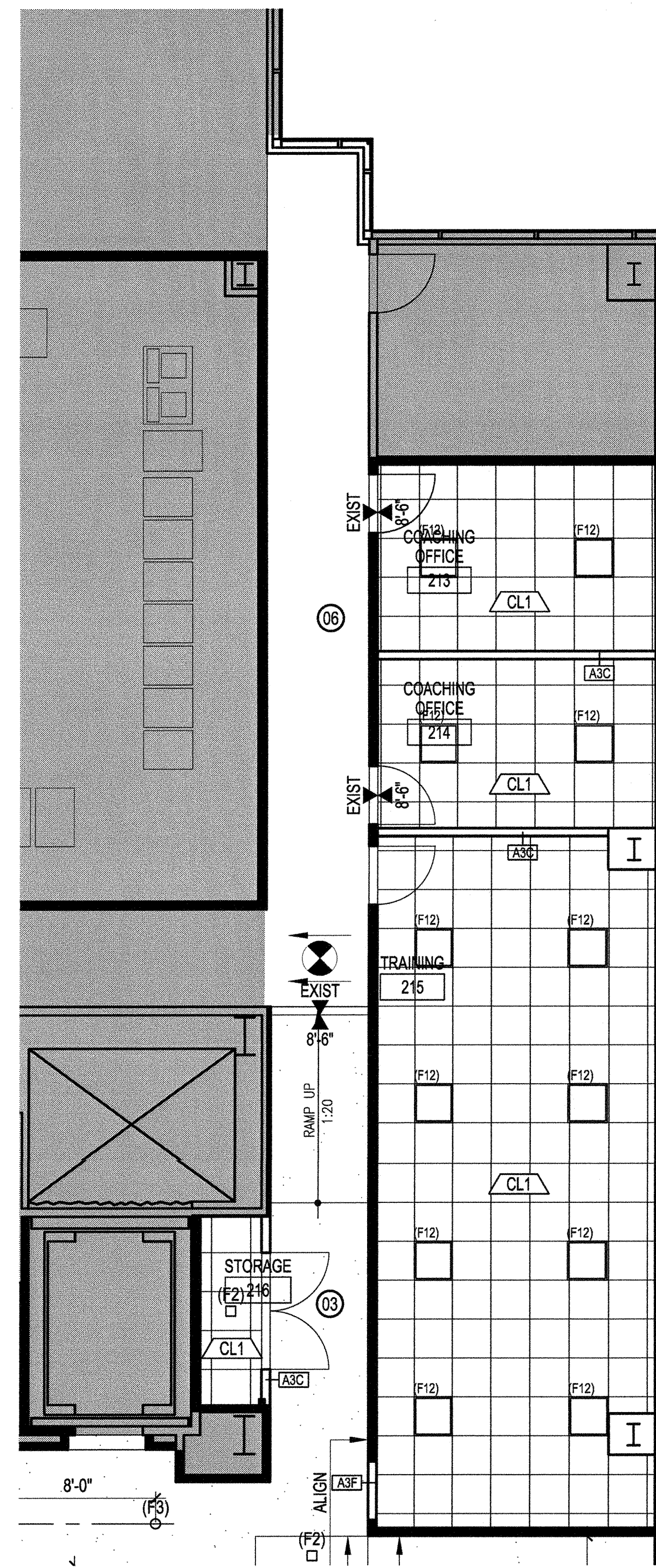
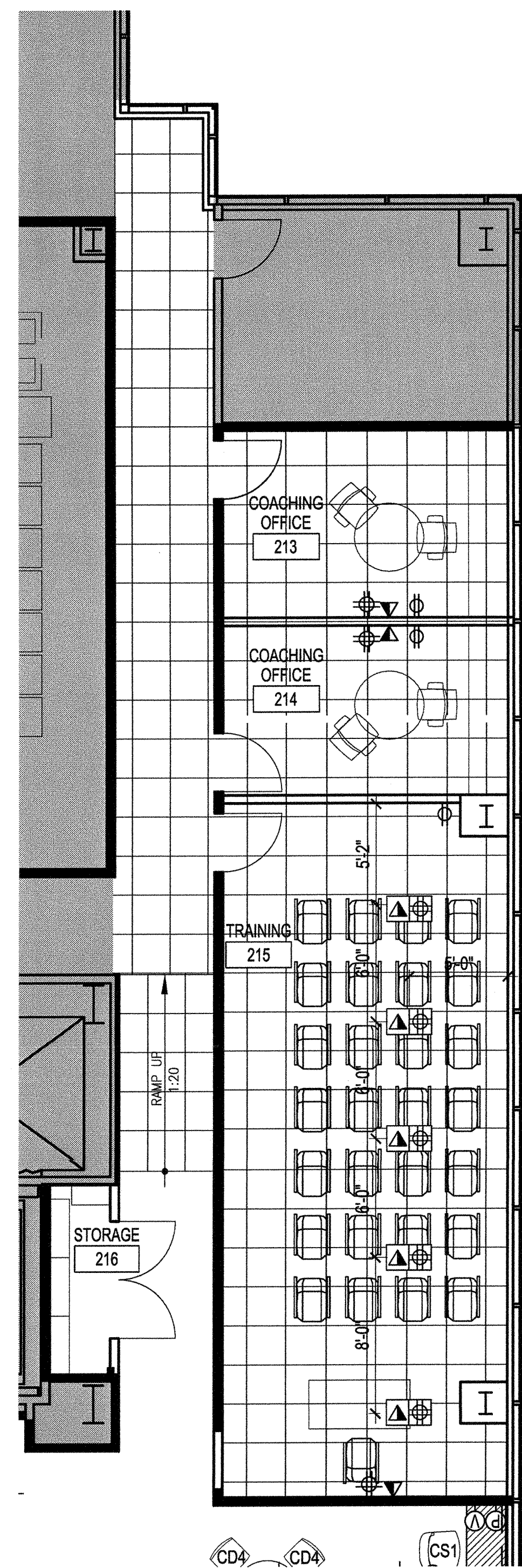
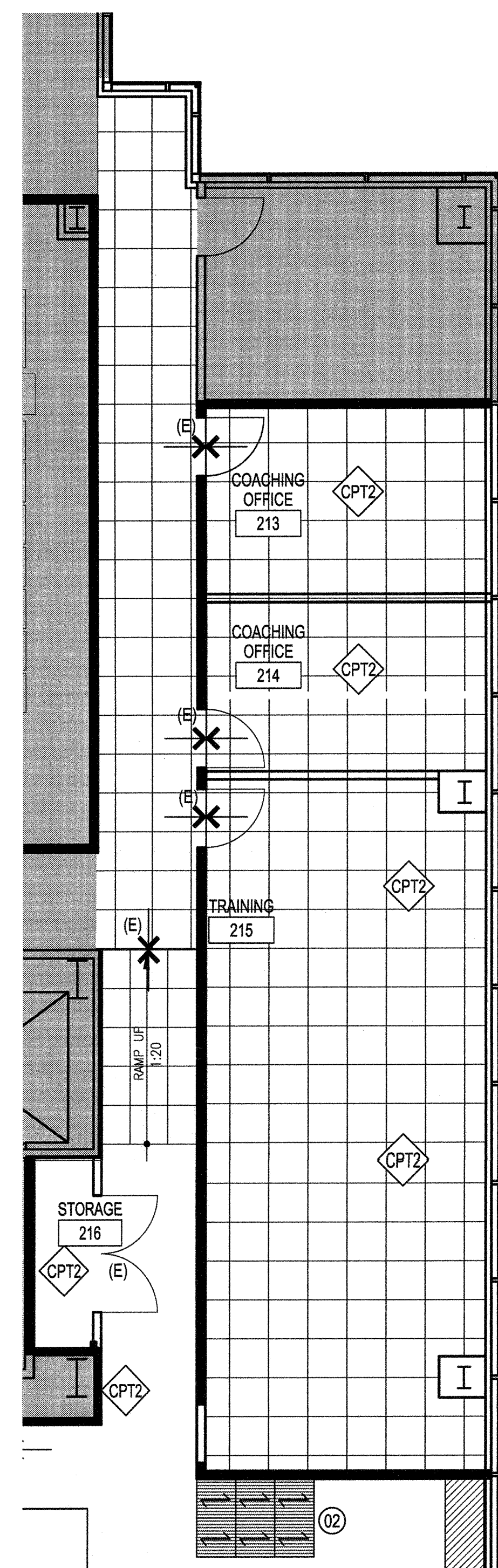
Project Name  
VERIZON V.I.P.

Project Number  
06.8740.000  
CAD File Name

Description  
ENLARGED PLANS

Scale  
3/16" = 1'-0"

A08.41\_SD



SECOND FLR. FINISH PLAN

14 SECOND FLR. POWER & FURN. PLAN

10 SECOND FLR. REFLECTED CEILING PLAN

6 SECOND FLR. CONSTRUCTION PLAN

**SHEET NOTES**

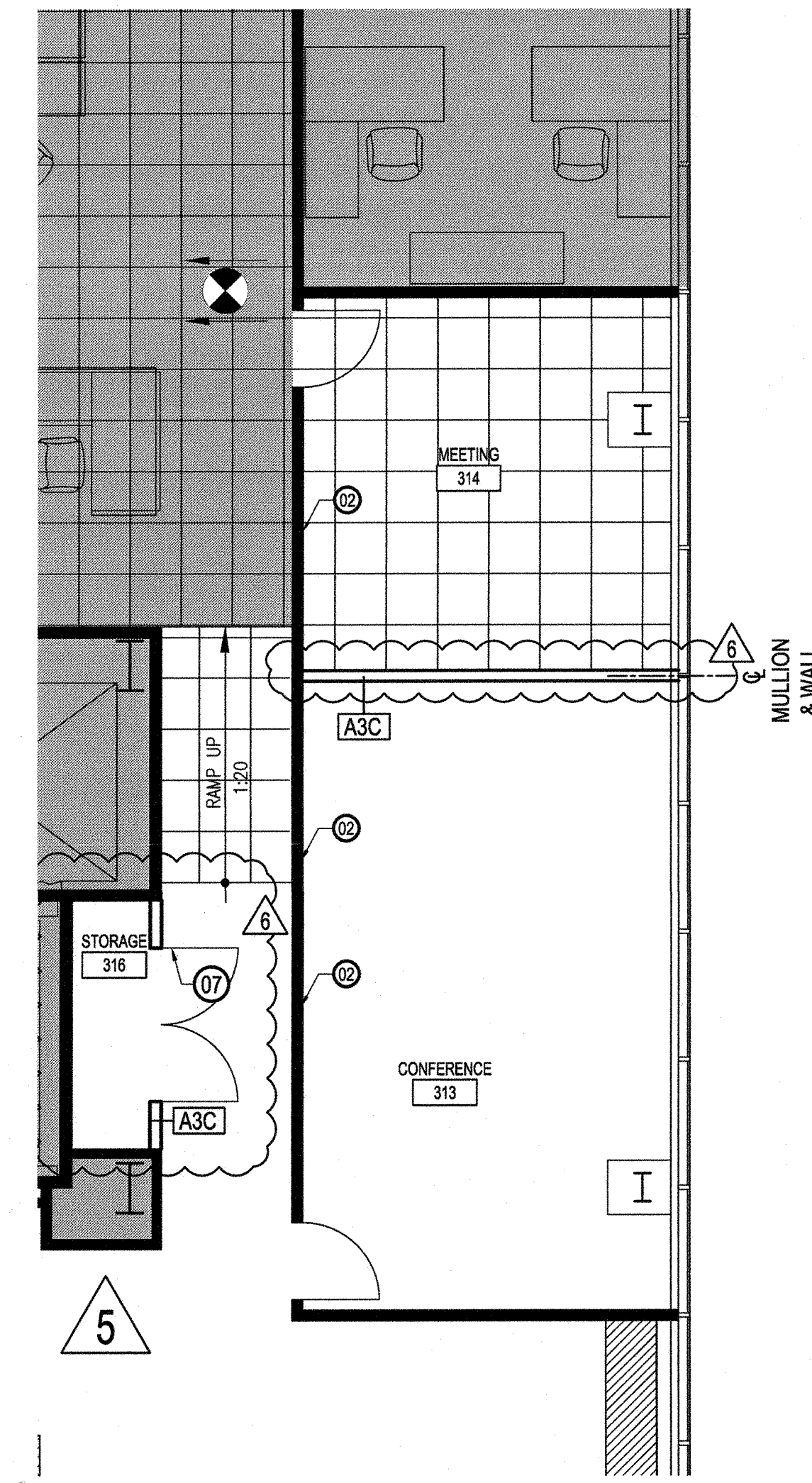
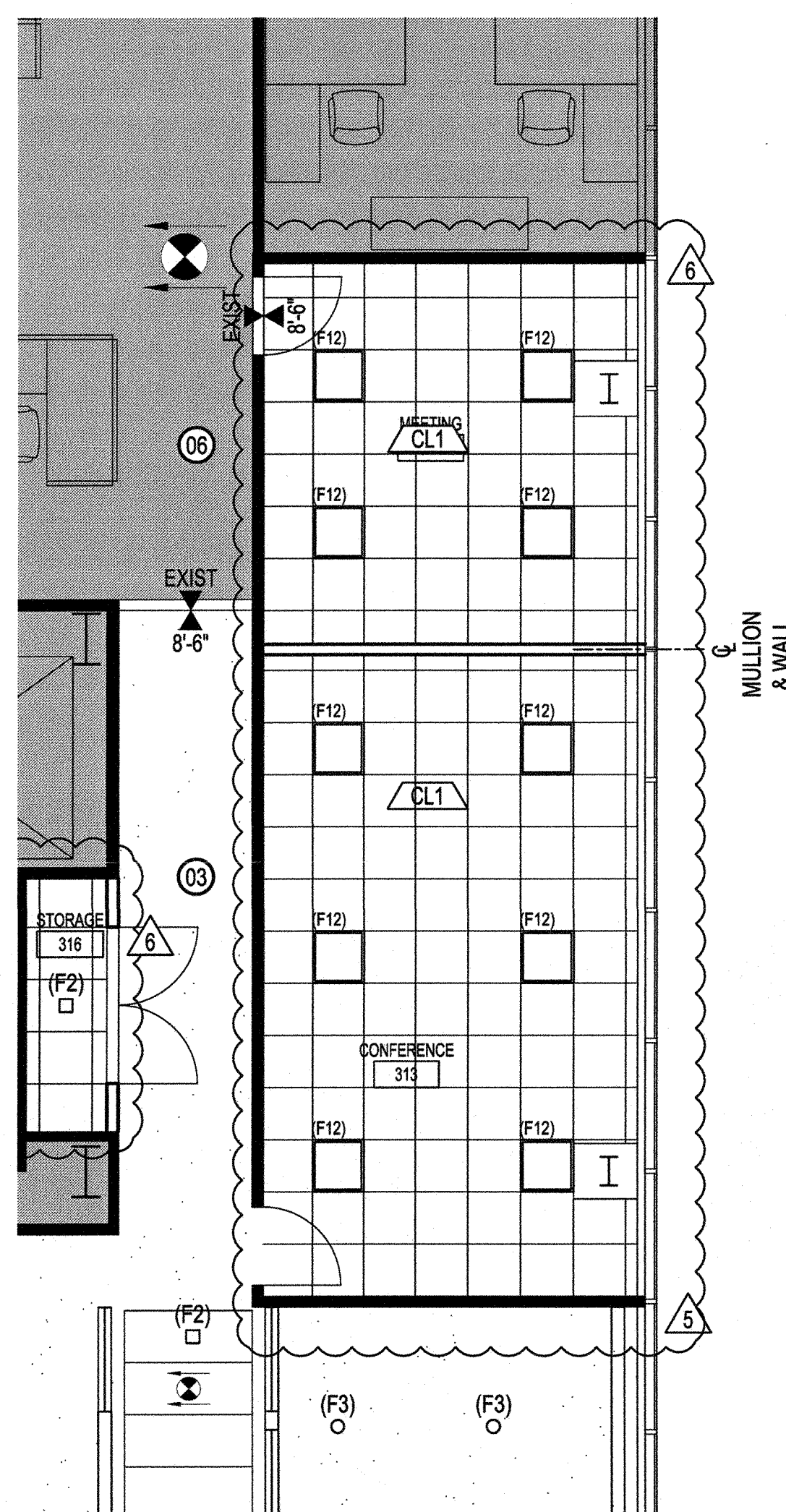
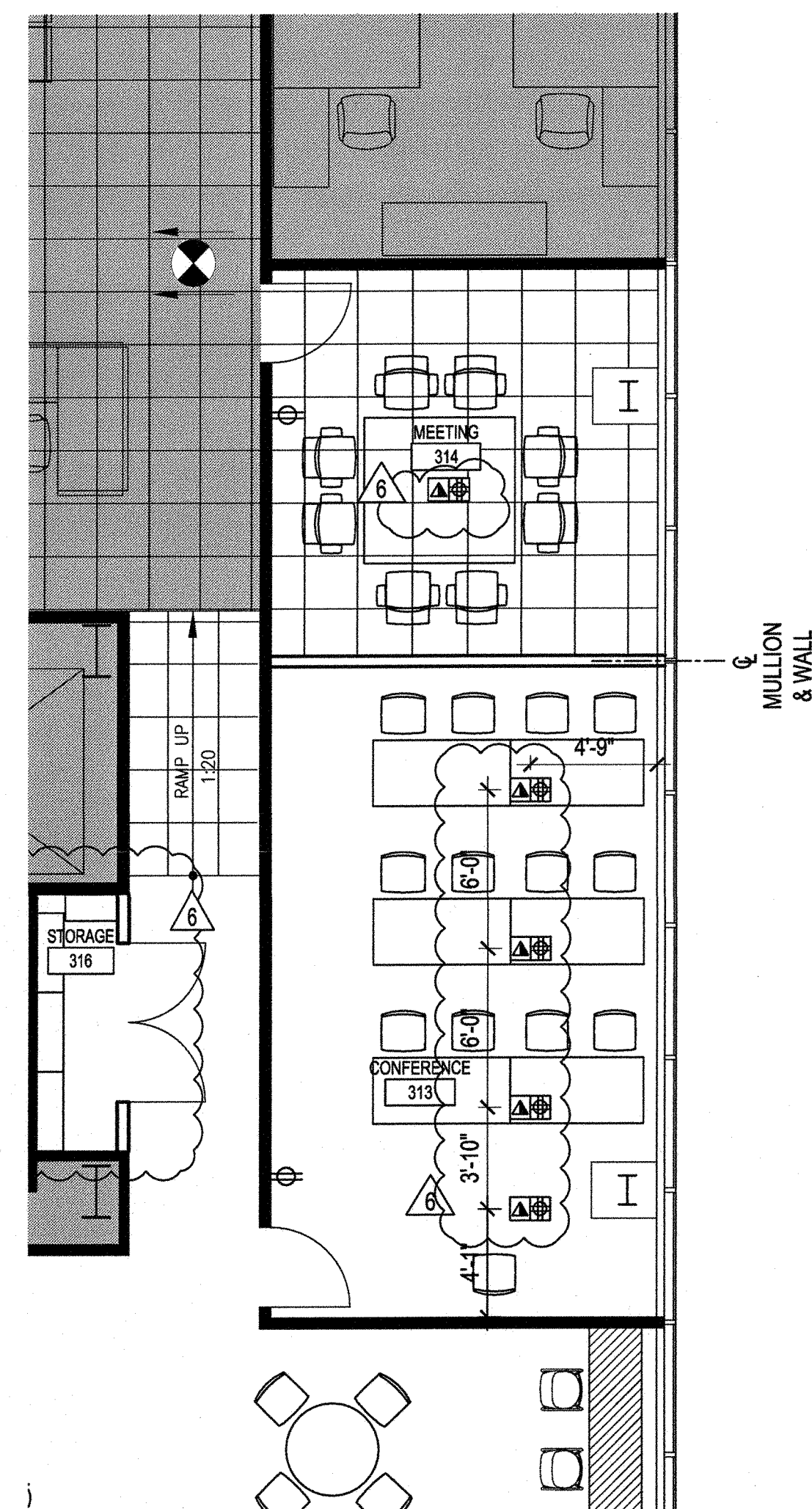
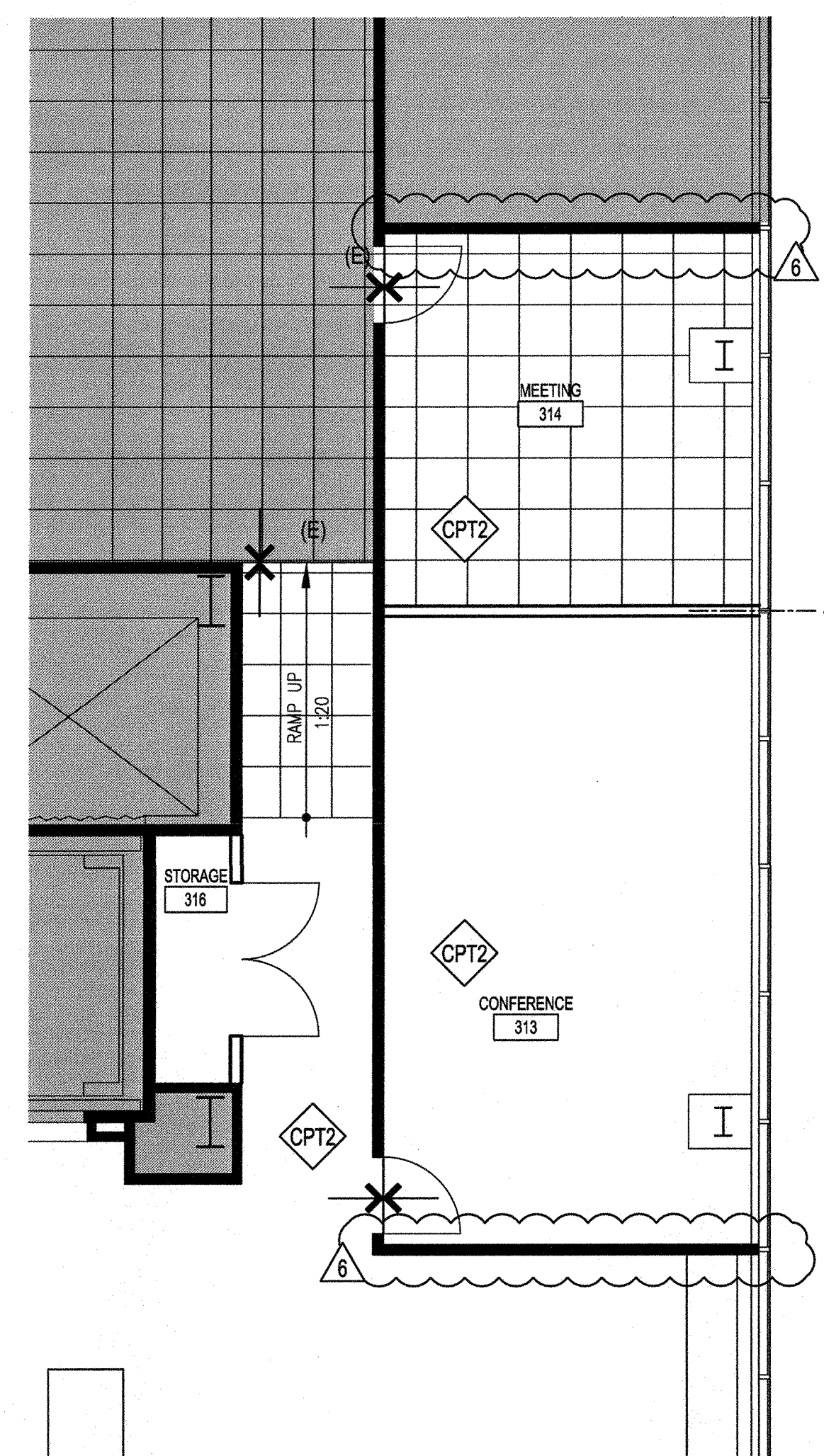
- (01) RELOCATE EXISTING ACCESS FLOORING OR PROVIDE NEW ACCESS FLOORING TO MATCH HEIGHT OF ADJACENT FLOOR. REFER TO TO PROJECT MANUAL FOR SPECIFICATIONS.
- (02) PROVIDE BLOCKING FOR FURNITURE MARKERBOARD, MB1. SEE ELEVATIONS FOR MOUNTING LOCATION.
- (03) REINSTALL EXISTING LIGHTS IN NEW CEILING AT ORIGINAL LOCATIONS.
- (04) EXISTING DOOR TO REMAIN
- (05) RELOCATED DOOR, FRAME & ASSOCIATED HARDWARE.
- (06) EXISTING CEILING TO REMAIN.
- (07) NEW HM DOORS AND FRAME. 1-1/2" PAIR HINGES PER DOOR, OVERHEAD SURFACE MOUNTED CLOSER, OVERHEAD STOP, MORTISE LOCKSET - STOREROOM FUNCTION, DUMMY TRIM ON INACTIVE LEAF, FLUSH BOLT, SILENCERS.

**LEGEND**

- (F1) 8' X 6" RECESSED FLUORESCENT.
- (F2) 4 1/2" SQUARE LED DOWNLIGHT.
- (F3) 4 1/2" ROUND LED DOWNLIGHT.
- (F4-A) 36" ROUND FLUORESCENT.
- (F4-B) 48" ROUND FLUORESCENT.
- (F4-C) 60" ROUND FLUORESCENT.
- (F4-D) 24" ROUND FLUORESCENT.
- (F5) 2' X 4" RECESSED FLUORESCENT.
- (F5A) 6' X 4" RECESSED FLUORESCENT.
- (F5B) 4" CONTINUOUS RUN RECESSED FLUORESCENT. LENGTH VARIES IN WHOLE FEET.
- (F6) 3" MICRO STAGGERED CHANNEL.
- (F7) 1" LED MODULAR TASK LIGHT.
- (F8) LED LINEAR FLEX LIGHT.
- (F9) REMOTE STRIP LIGHT.
- (F10) 6" CONTINUOUS RUN RECESSED FLUORESCENT. LENGTH VARIES IN WHOLE FEET.
- (F11) 4' X 8" VERTICAL RECESSED FLUORESCENT.
- (F12) 24" X 24" RECESSED FLUORESCENT.
- (D1) 19 1/2" DECORATIVE PENDANT LIGHT FIXTURE.
- (D2) 3.7" DECORATIVE PENDANT LIGHT FIXTURE.

**GENERAL NOTES**

1. REFER TO PROJECT MANUAL FOR LIGHTING SCHEDULE.
2. ALL WALLS TO RECEIVE PT1 AND RBI U.O.N.
3. ALL CEILING HEIGHTS SHOWN ABOVE FINISHED FLOOR, U.O.N.



THIRD FLR. FINISH PLAN

16 THIRD FLR. POWER & FURN. PLAN

12 THIRD FLR. REFLECTED CEILING PLAN

8 THIRD FLR. CONSTRUCTION PLAN



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Oxnard, CA 93030

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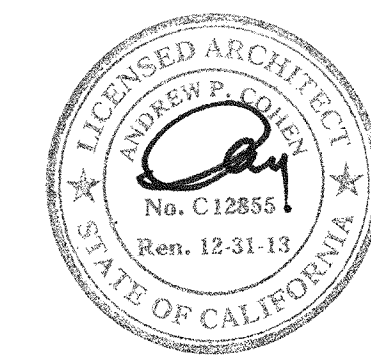
**SYSKA HENNESSY GROUP**  
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Issue	Date & Issue Description	By	Check
01	08/22/12	SJ	SJ
PROGRESS SET			
02	07/31/12	ES/MC	SJ
Issued for Plan Check			
1	08/10/12	ES/MC	SJ
ISSUED FOR CONSTRUCTION			
3	04/10/05/12	ES/MC	SJ
REVISED FOR PLAN CHECK COMMENTS			
5	05/11/19/12	ES	SJ
BULLETIN #3			
5	06/11/19/12	ES	SJ
BULLETIN #3			
6	07/02/21/13	ES	SJ
BULLETIN #4			

APPROVED  
PROJECT CENTER  
CITY OF OAKLAND  
1000 PINE STREET, SUITE 1000  
OAKLAND, CALIFORNIA 94612  
Tel: 415.774.3000  
Fax: 415.774.3001  
www.oakland.gov

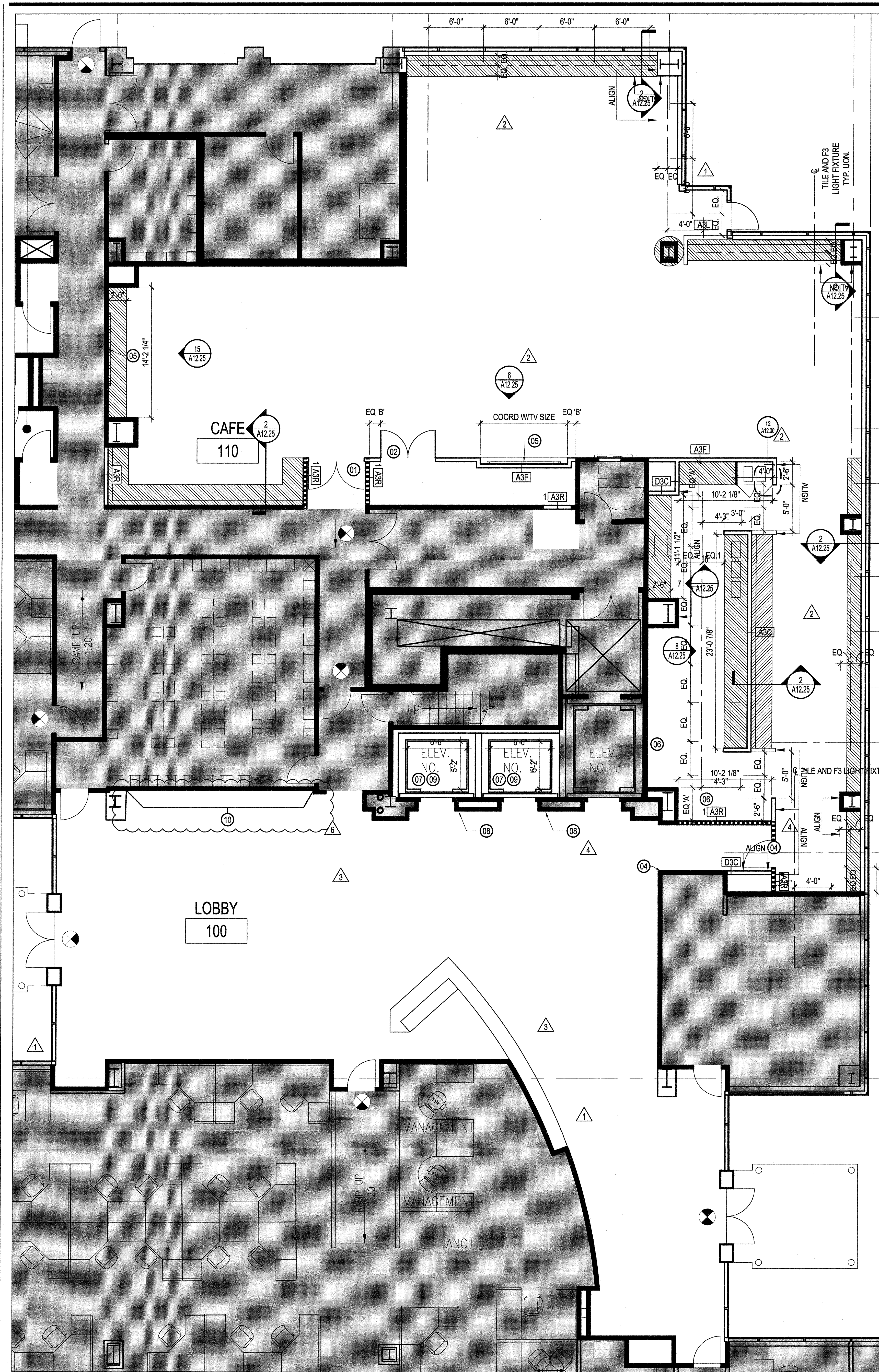


Project Name  
VERIZON V.I.P.  
Project Number  
06.8740.000  
CAD File Name  
Description  
ENLARGED PLANS

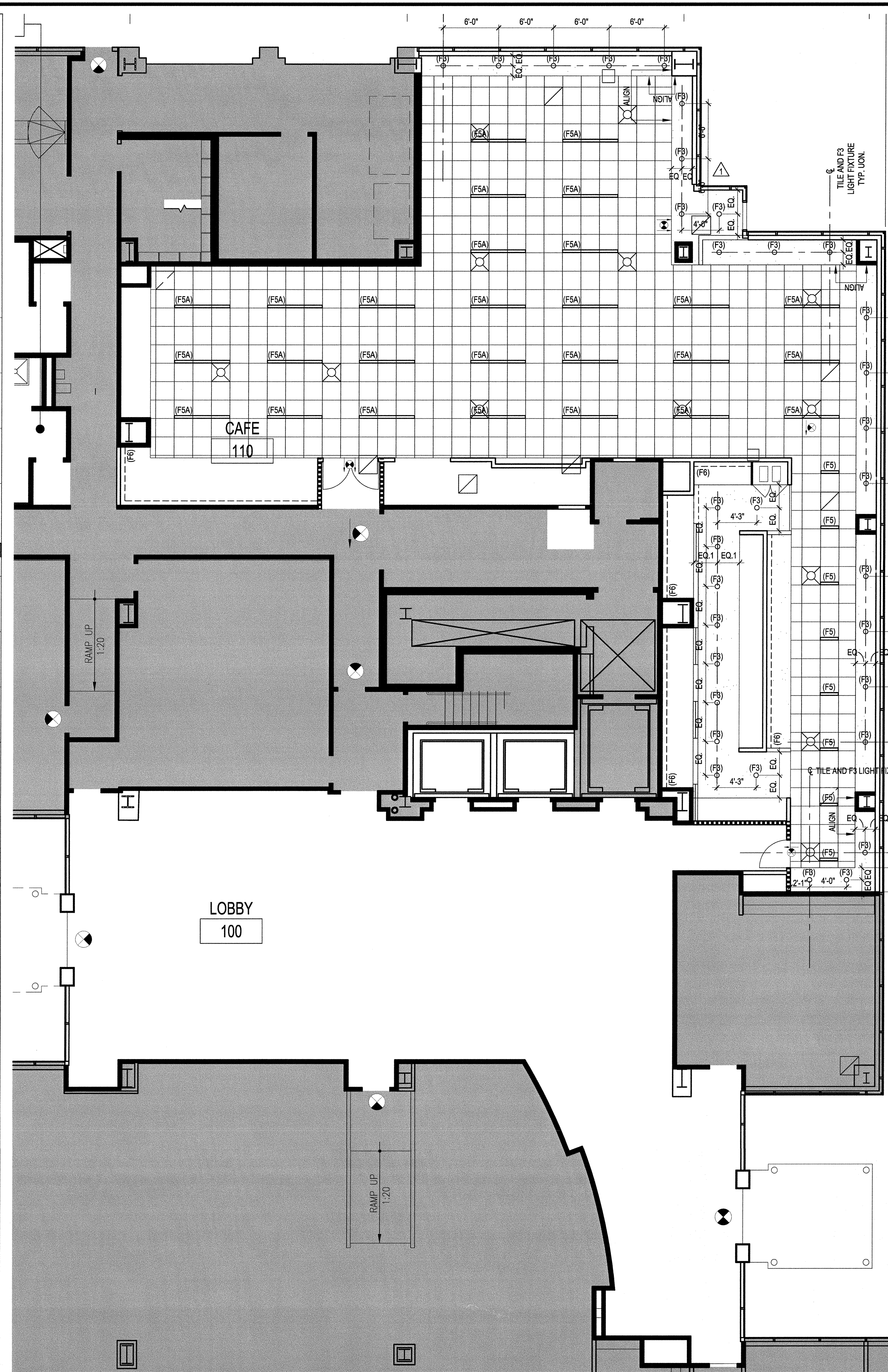
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**A08.42\_SD**

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CONSTRUCTION PLAN



2 REFLECTED CEILING PLAN

**SHEET NOTES**

- (01) NEW 45 MIN. FIRE RATED HOLLOW METAL DOOR AND FRAME, 6'-0" x 7'-0" ON HOLD-OPENS TIED TO BUILDING FIRE ALARM SYSTEM. HARDWARE: HINGES, SURFACE MOUNTED RIM EXIT DEVICE, COORDINATED CLOSER, ASTRAGAL, PASSAGE FUNCTION LOCKSET.
- (02) NEW WOOD DOOR AND HOLLOW METAL FRAME, PAINTED, 6'-0" x 7'-0". HARDWARE: HINGES, OVERHEAD CLOSER, STOREROOM FUNCTION LOCKSET, FLUSHBOLT, OVERHEAD STOP.
- (03) NOT USED.
- (04) NEW DOOR, 3'-0" x 7'-0". NEW 45 MIN. HOLLOW METAL DOOR & FRAME. HARDWARE: HINGES, SURFACE MOUNTED EXIT RIM DEVICE, OVERHEAD CLOSER, FLOOR STOP.
- (05) PROVIDE BLOCKING FOR MONITOR. COORDINATE HEIGHT WITH AV DRAWINGS.
- (06) AVENUE C FOOD SERVICE EQUIPMENT. SEE FOOD SERVICE CONSULTANT DRAWINGS.
- (07) EXISTING ELEVATOR CAB SIZE CANNOT BE MADE COMPLIANT DUE TO STRUCTURAL IMPRACTICALITY.
- (08) EXISTING ELEVATOR HALL LANTERN TO BE RELOCATED FROM ABOVE THE DOORS TO THE WALL ADJACENT TO THE ELEVATOR DOORS COMPLIANT WITH DIMENSIONS SHOWN ON SHEET A00.11\_SD.
- (09) EXISTING CAB HANDRAIL TO BE REMOVED AND REPLACED WITH COMPLIANT HANDRAIL AS SHOWN ON A00.11\_SD.
- (10) APPLY LACQUER PANELS TO WALL. CONFIGURATION AND SIZE TO MATCH EXISTING PANELS IN LOBBY.

**LEGEND**

- (F1) 8' x 6" RECESSED FLUORESCENT.
- (F2) 4 1/2" SQUARE LED DOWNLIGHT.
- (F3) 4 1/2" ROUND LED DOWNLIGHT.
- (F4-A) 36" ROUND FLUORESCENT.
- (F4-B) 48" ROUND FLUORESCENT.
- (F4-C) 60" ROUND FLUORESCENT.
- (F4-D) 24" ROUND FLUORESCENT.
- (F5) 2' x 4" RECESSED FLUORESCENT.
- (F5A) 6' x 4" RECESSED FLUORESCENT.
- (F5B) 4" CONTINUOUS RUN RECESSED FLUORESCENT. LENGTH VARIES IN WHOLE FEET.
- (F6) 3" MICRO STAGGERED CHANNEL.
- (F7) 1" LED MODULAR TASK LIGHT.
- (F8) LED LINEAR FLEX LIGHT.
- (F9) REMOTE STRIP LIGHT.
- (F10) 6" CONTINUOUS RUN RECESSED FLUORESCENT. LENGTH VARIES IN WHOLE FEET.
- (F11) 4" x 8" VERTICAL RECESSED FLUORESCENT.
- (F12) 24" x 24" RECESSED FLUORESCENT.
- (D1) 19 1/2" DECORATIVE PENDANT LIGHT FIXTURE.
- (D2) 3.7" DECORATIVE PENDANT LIGHT FIXTURE.

**GENERAL NOTES**

- 1. REFER TO PROJECT MANUAL FOR LIGHTING SCHEDULE.
- 2. NEW CEILING HEIGHT TO MATCH EXISTING CEILING HEIGHT.



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**Syska Hennessy**  
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Issue	Date & Issue Description	By	Check
01	07/31/12 ISSUED FOR PERMIT/BID	ES	SJ
1	08/19/12 ISSUED FOR CONSTRUCTION	ES/MC	SJ
2	09/12/12 BULLETIN #1	ES/MC	SJ
3	10/05/12 REVISED FOR PLAN CHECK COMMENTS	ES/MC	SJ
4	12/21/12 PLAN CHECK	ES	SJ
5	11/19/12 BULLETIN #3	ES	SJ
6	01/22/13 BULLETIN #4	ES	SJ
6	02/21/13 BULLETIN #4	ES	SJ
6	02/21/13 BULLETIN #4	ES	SJ

APPROVED  
 PROJECT ENGINEER  
 [Signature]  
 No. C12805  
 Exp. 12/31/14  
 STATE OF CALIFORNIA

Seal/Signature

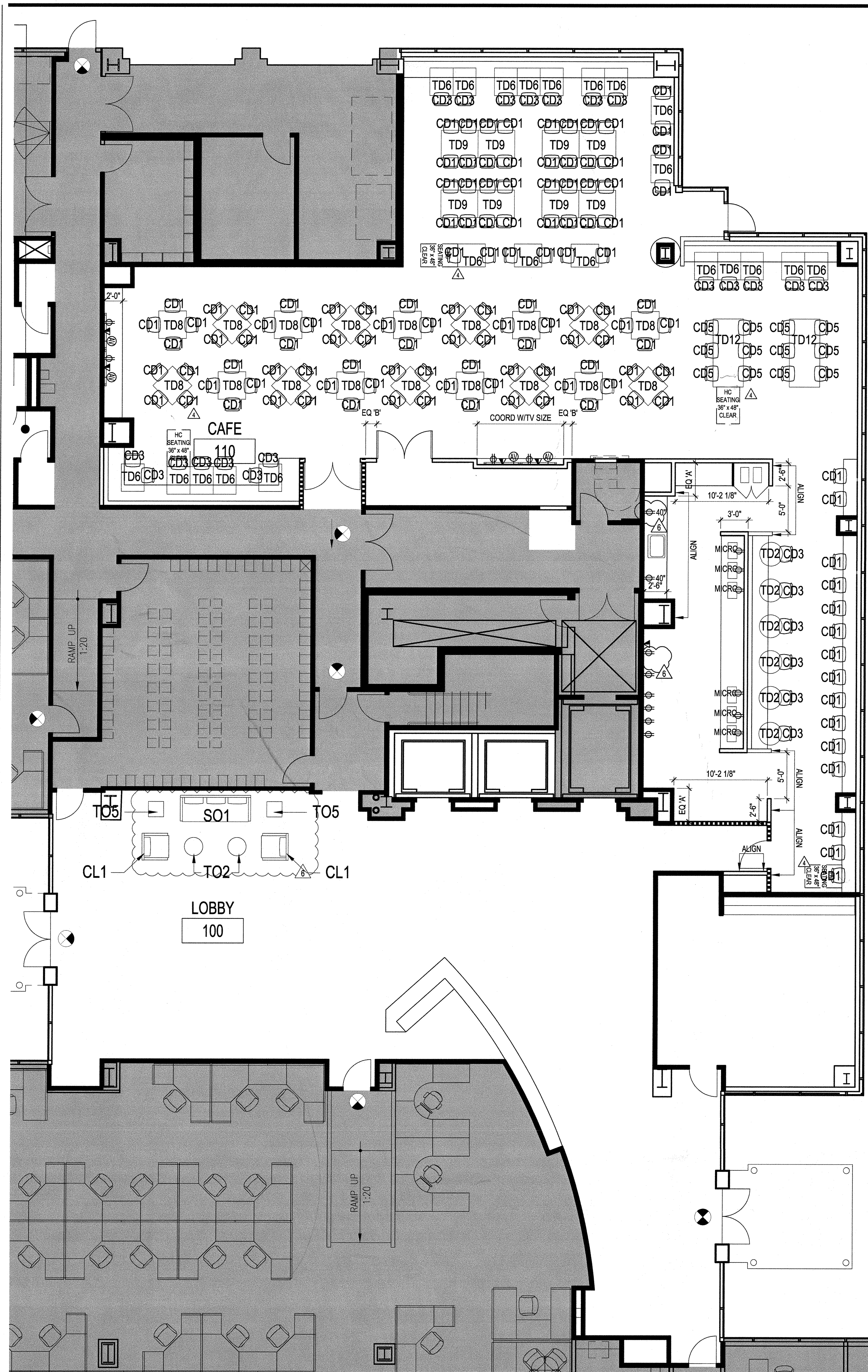
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VERIZON V.I.P.

Project Number  
06.8740.000  
CAD File Name

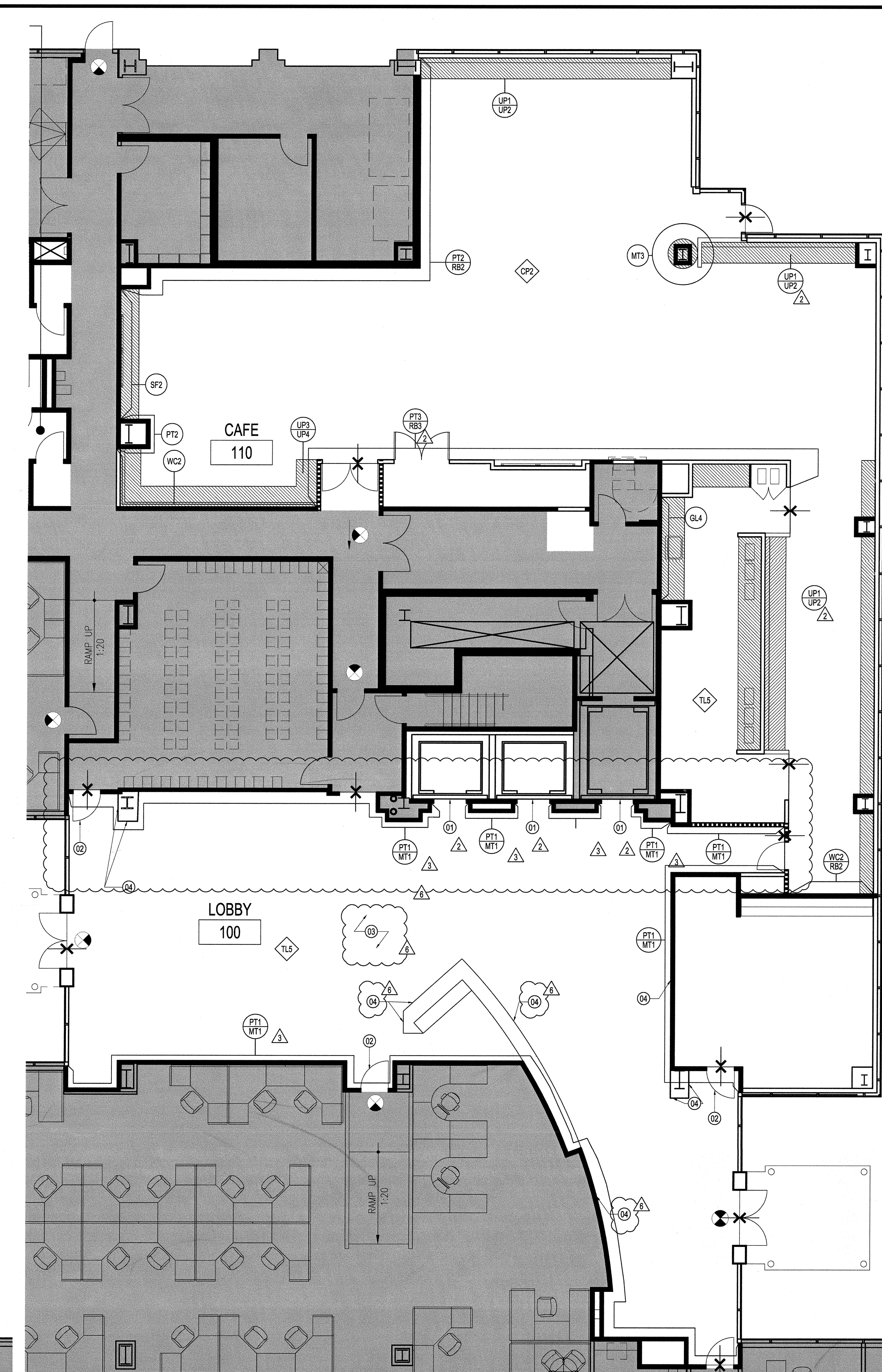
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CAFETERIA ENLARGED PLANS

Scale  
3/16" = 1'-0"

**A08.77\_SD**



POWER AND FURNITURE PLAN



2 FINISH PLAN

**SHEET NOTES**

- 01 EXISTING STAINLESS STEEL ELEVATOR DOORS AND FRAMES TO REMAIN. CLEAN AND POLISH.
- 02 PAINT DOOR PT1.
- 03 INSTALL NEW NON-SLIP COATING ON EXISTING GRANITE TILE.
- 04 EXISTING WOOD PANEL WALL AND DESK PANELING TO BE REFINISHED TO MATCH PT1 WITH 65% SHEEN.

**GENERAL NOTES**

- 1. FURNITURE IS SHOWN FOR REFERENCE ONLY
- 2. PAINT WALLS AND CEILING GYP BOARD PT1, U.O.N.
- 3. FURNITURE VENDOR TO PROVIDE QUANTITY OF FURNITURE NOTED/TAGGED
- 4. ALL NEW FURNITURE IS PROVIDED AND INSTALLED BY FURNITURE VENDOR
- 5. REFER TO AV PACKAGE FOR ALL AV EQUIPMENT INFORMATION WHERE APPLICABLE.
- 6. VERIFY FURNITURE DIMENSIONS FOR LAYOUT IN FIELD.
- 7. SEE FURNITURE SPECIFICATION DOCUMENT FOR ALL NEW FURNITURE NOTED/TAGGED
- 8. ALL SEATING AND TABLES SHOWN IN CAFETERIA ARE MOVEABLE
- 9. ALL EXISTING LACQUER PANELS TO BE REFINISHED TO MATCH PT1 WITH 65% SHEEN.

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Issue	Date	Issue Description	By	Check
01	07/31/12	ISSUED FOR PERMIT/BID	ES	SJ
1	02	08/10/12	ESMC	SJ
03	09/04/12	ISSUED FOR CONSTRUCTION	SLR	SJ
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3	05	10/05/12	ESMC	SJ
4	06	11/14/12	ES	SJ
4	07	12/21/12	ES	SJ
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6	09	01/22/13	ES	SJ
6	10	01/29/13	ES	SJ
6	11	02/21/13	ES	SJ

APPROVED:

PROJECT CENTER  
CITY OF OXNARD  
1000 WEST OXNARD AVENUE  
OXNARD, CA 93030  
TELEPHONE: 805.321.1000  
FACSIMILE: 805.321.1001  
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Seal/Signature

Project Name  
VERIZON V.I.P.

Project Number  
06.8740.000

CAO File Name

Description  
CAFETERIA ENLARGED PLANS

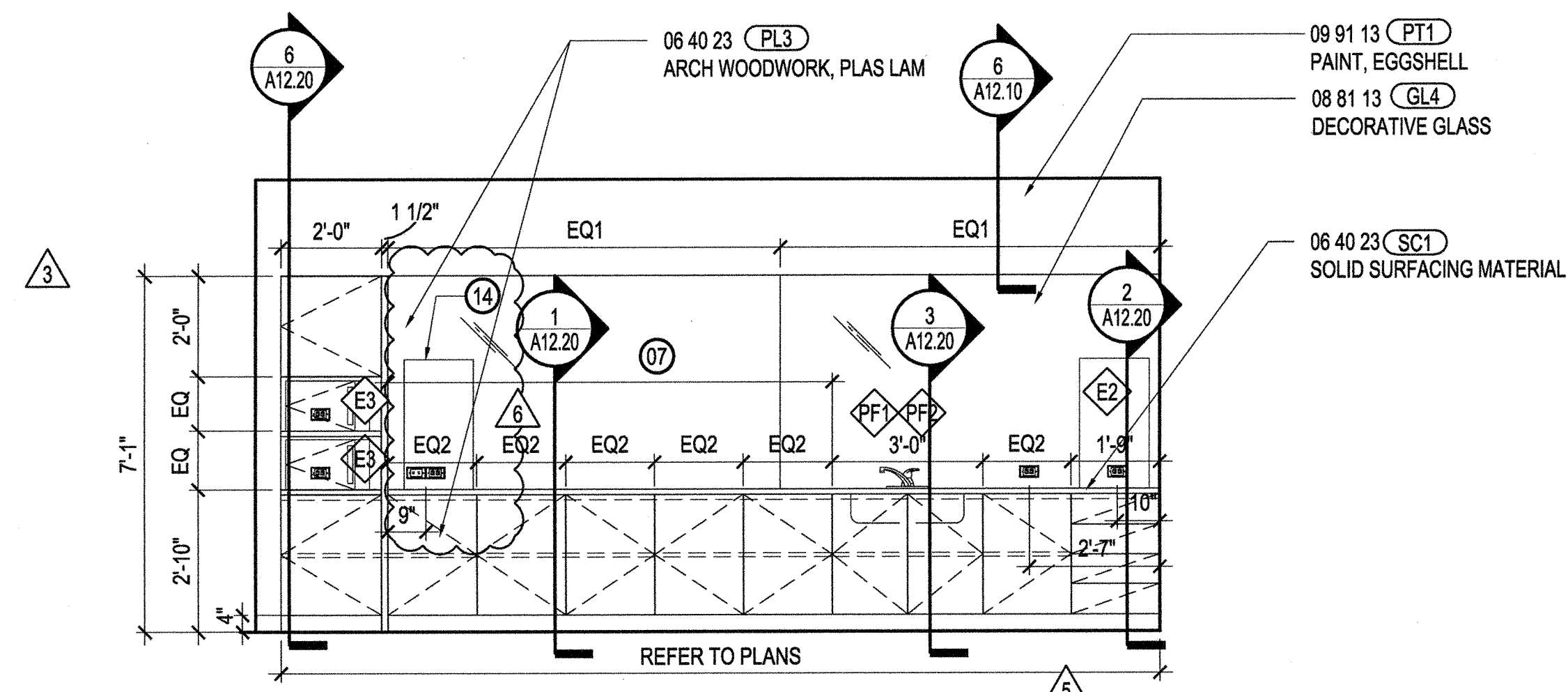
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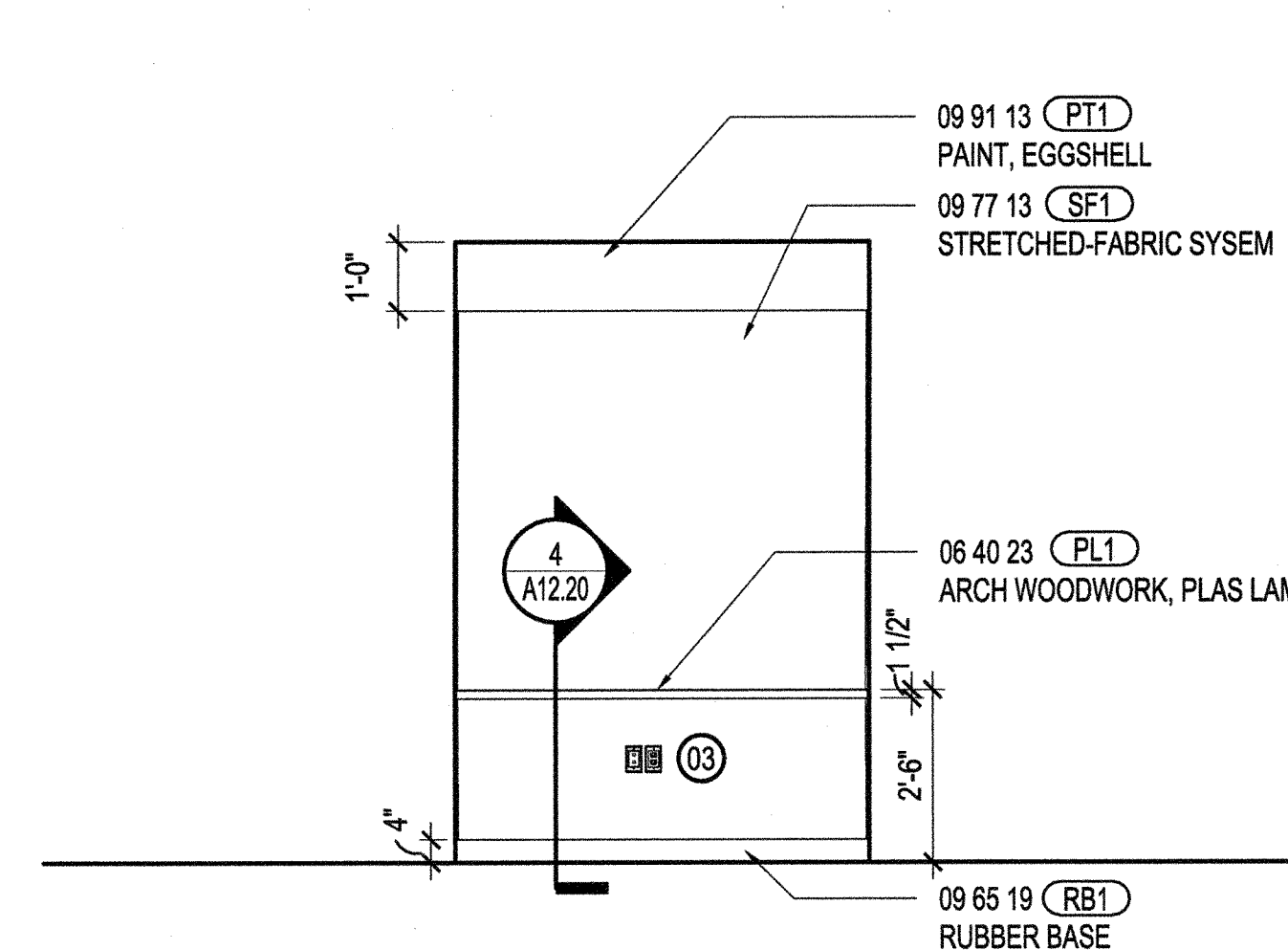
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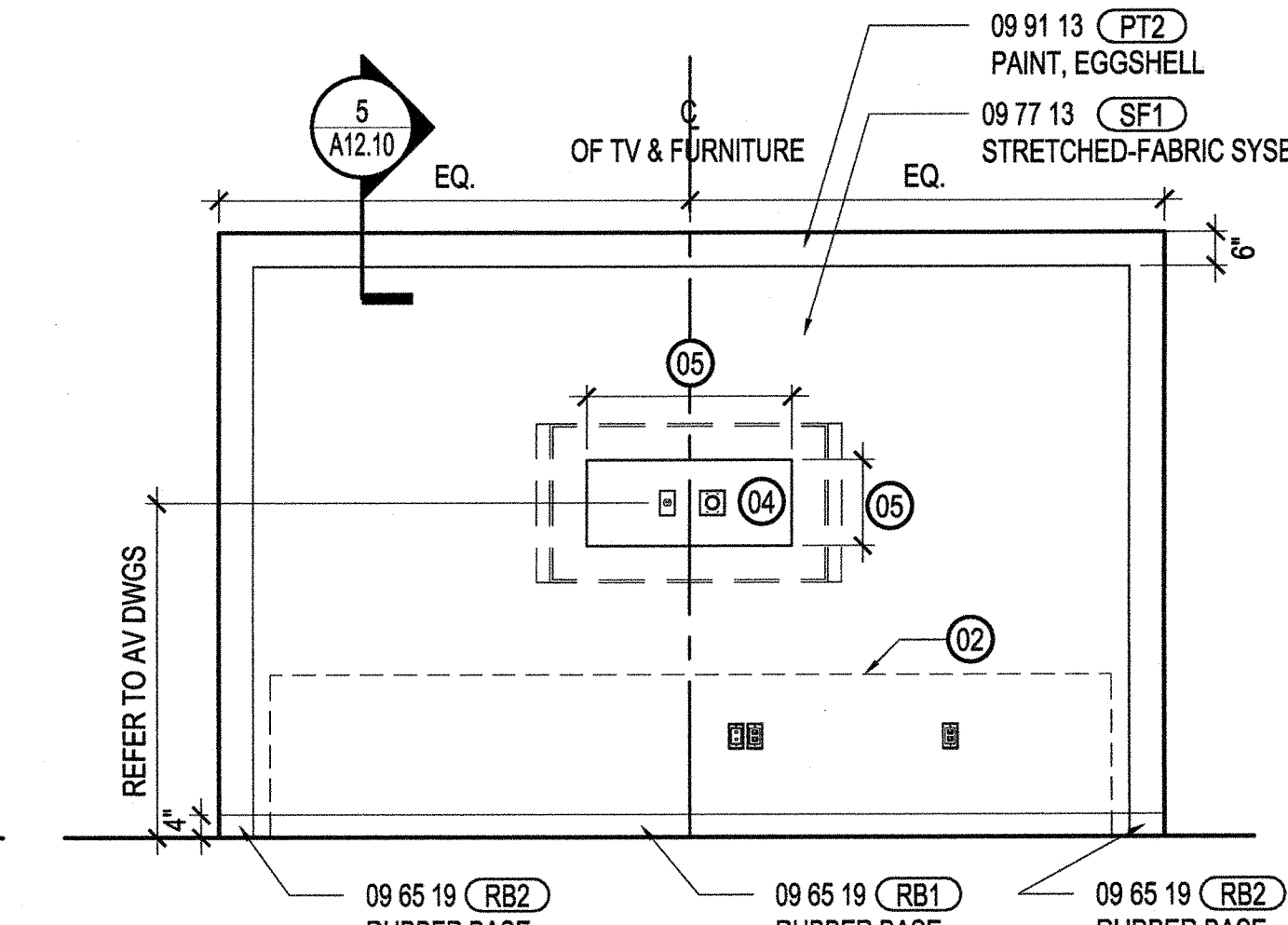




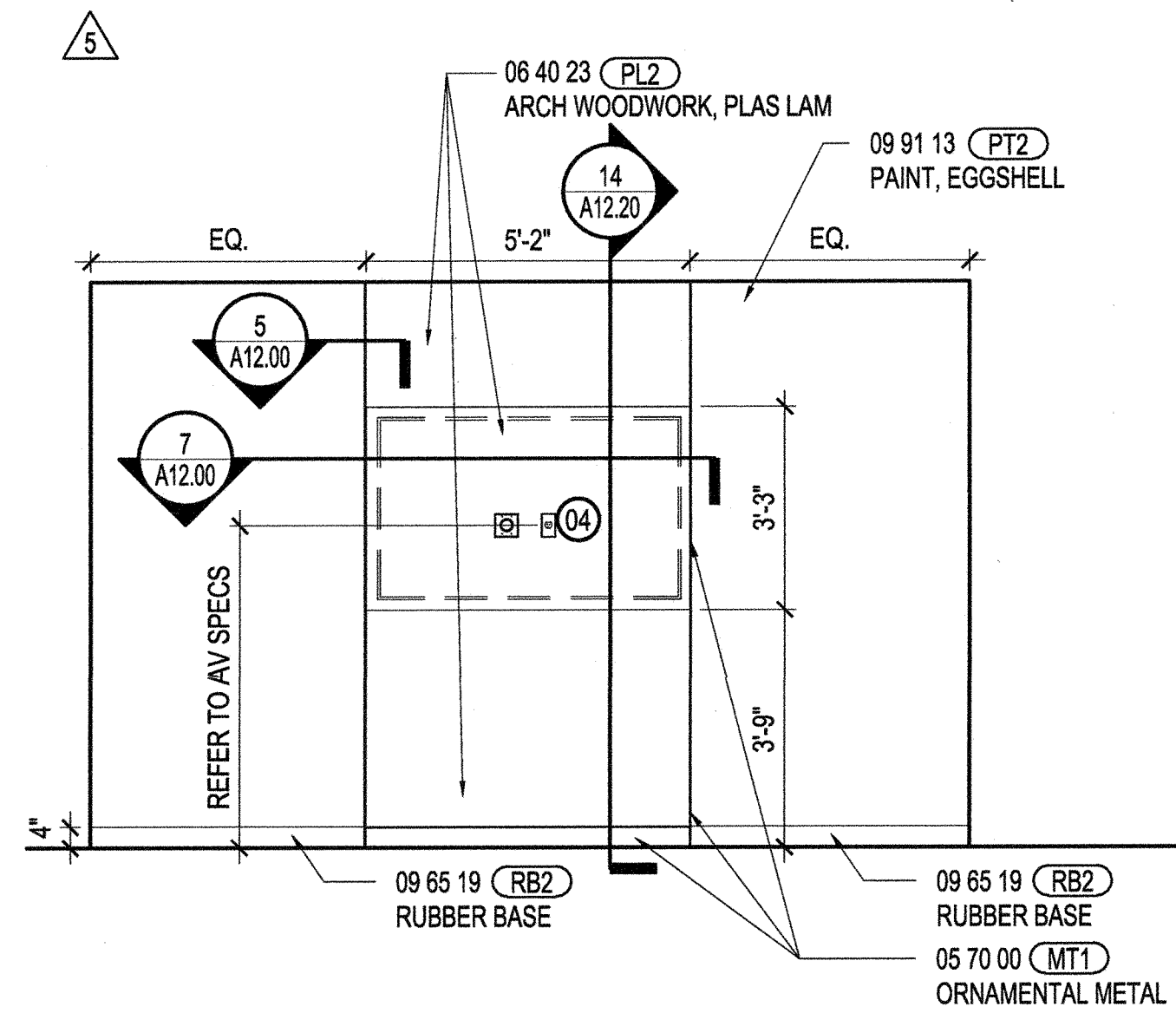
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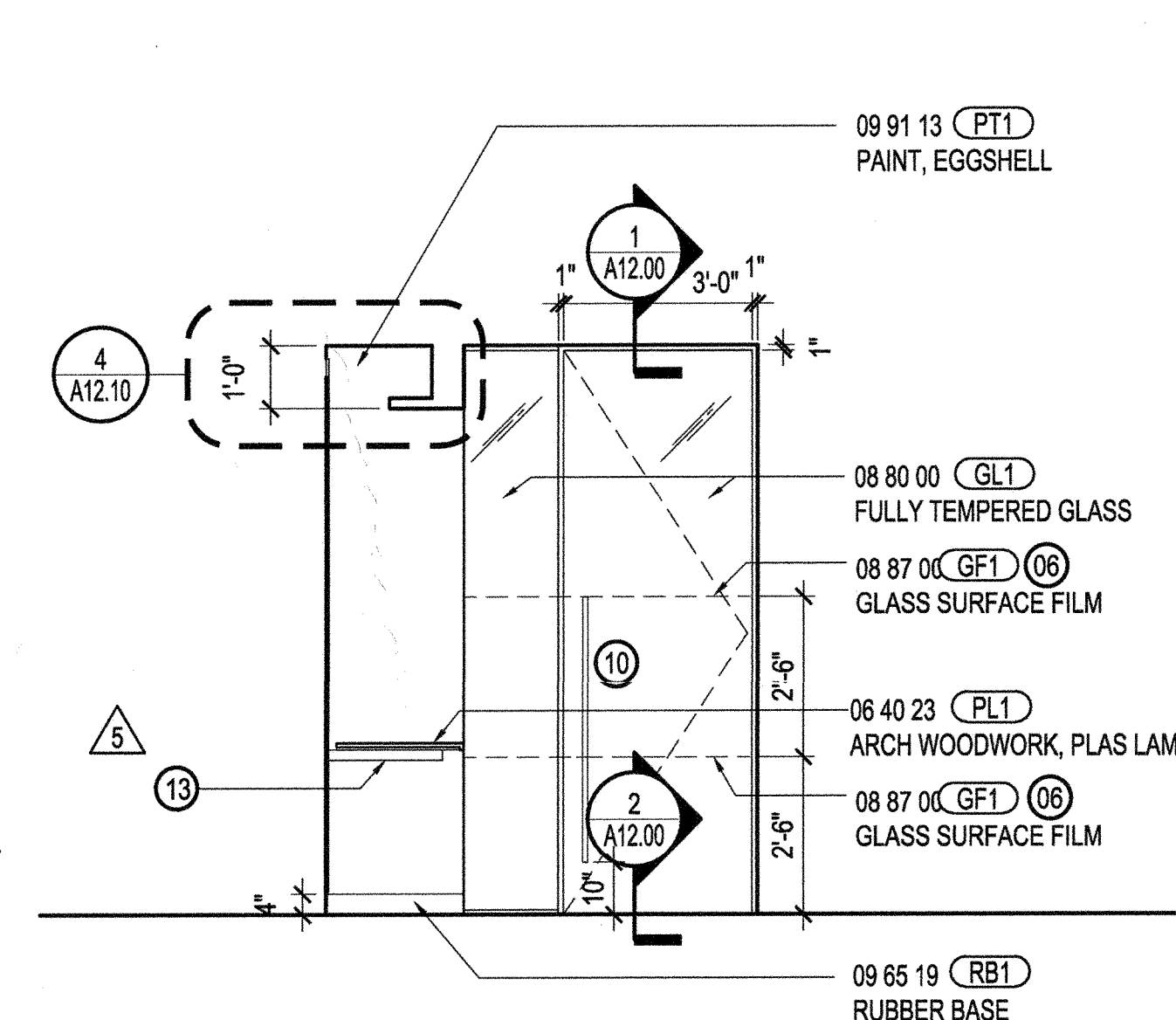
**9 QUIET RM. ELEVATION**  
SCALE: 3/8" = 1'-0"



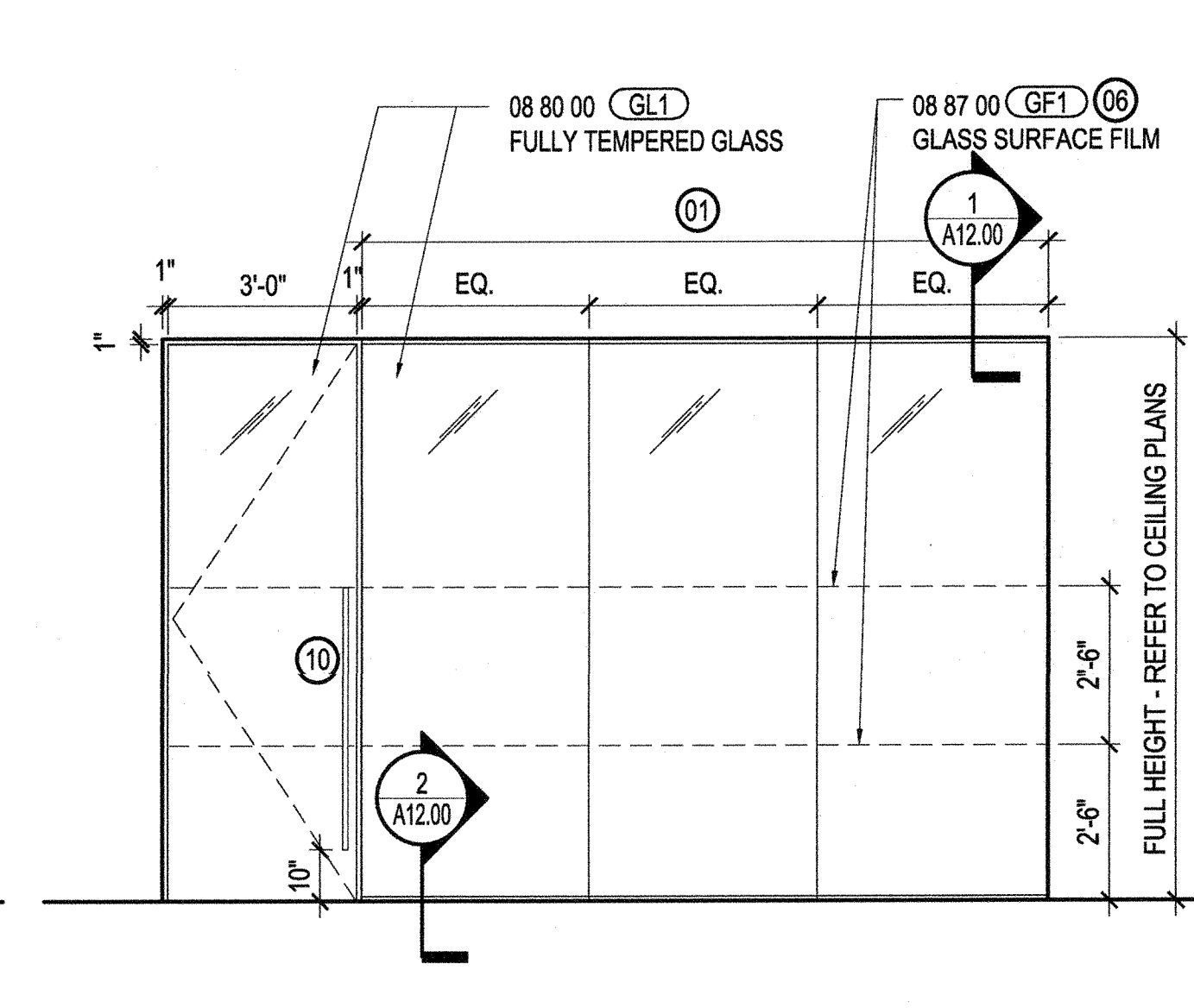
**5 TYP. CONF. CREDEZA WALL ELEV. 1**  
SCALE: 3/8" = 1'-0"



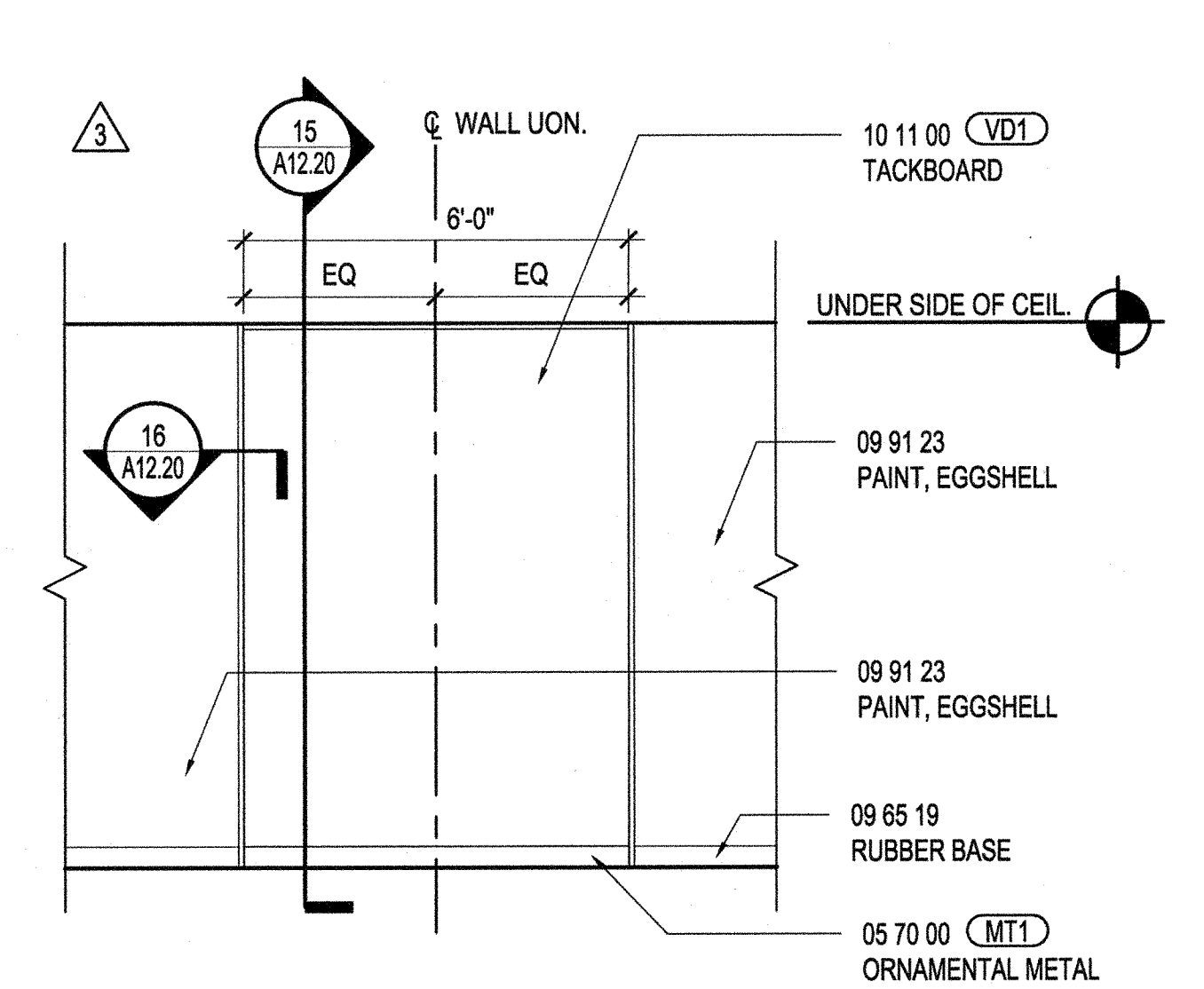
**BREAKOUT ROOM MONITOR ELEV. 10**  
SCALE: 3/8" = 1'-0"



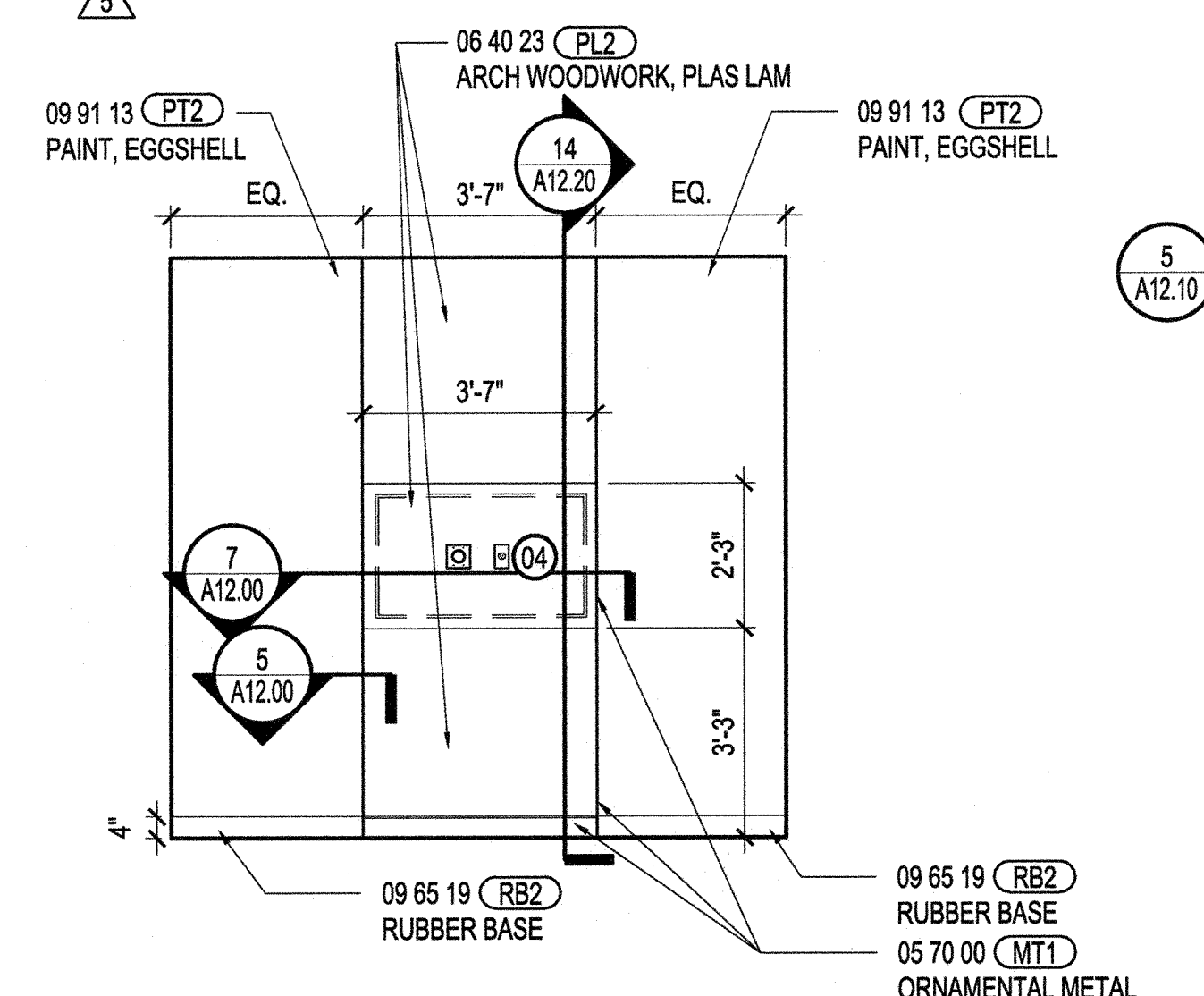
**6 QUIET RM. ELEVATION**  
SCALE: 3/8" = 1'-0"



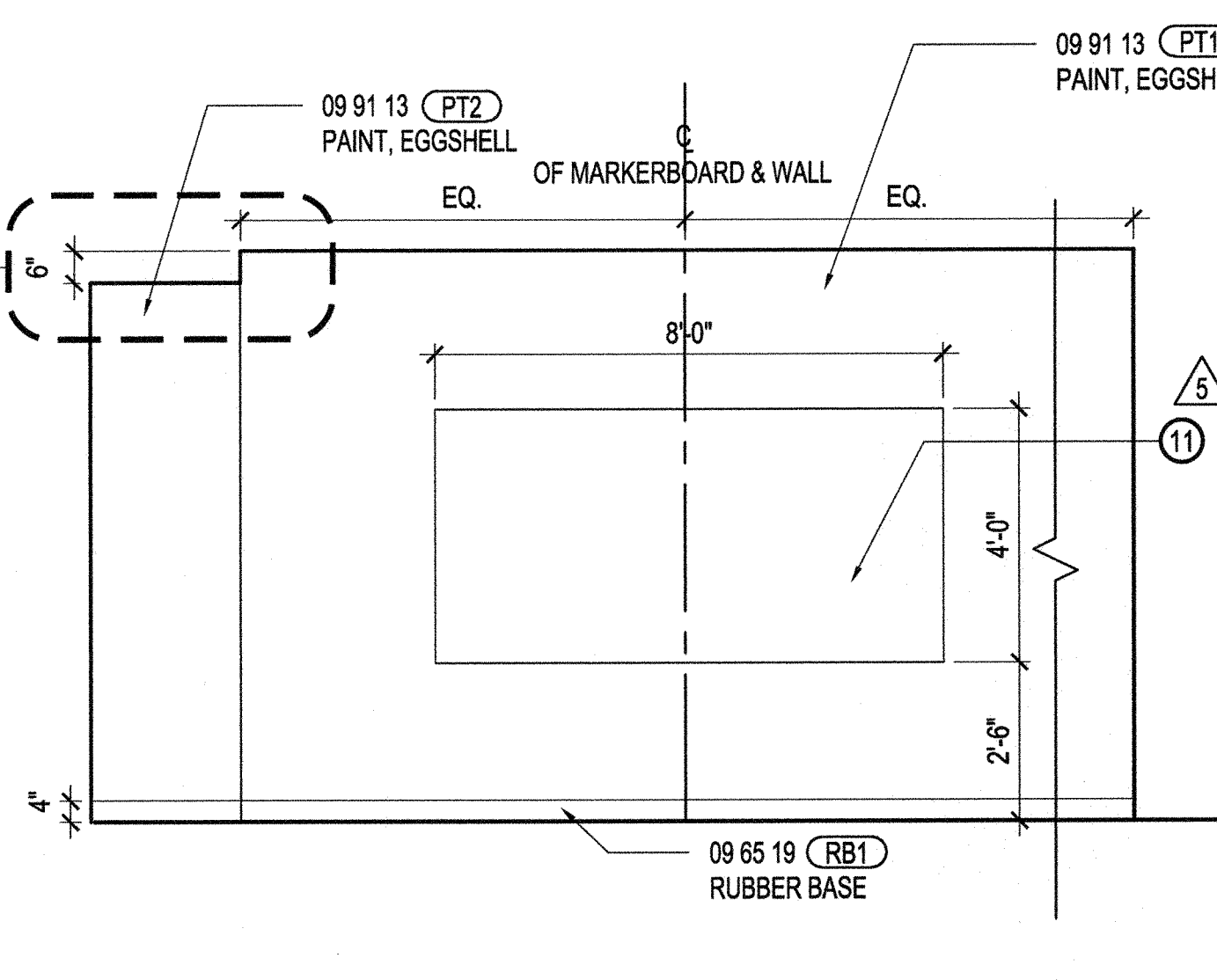
**2 TYP. CONF. GLASS FRONT ELEV. 2**  
SCALE: 3/8" = 1'-0"



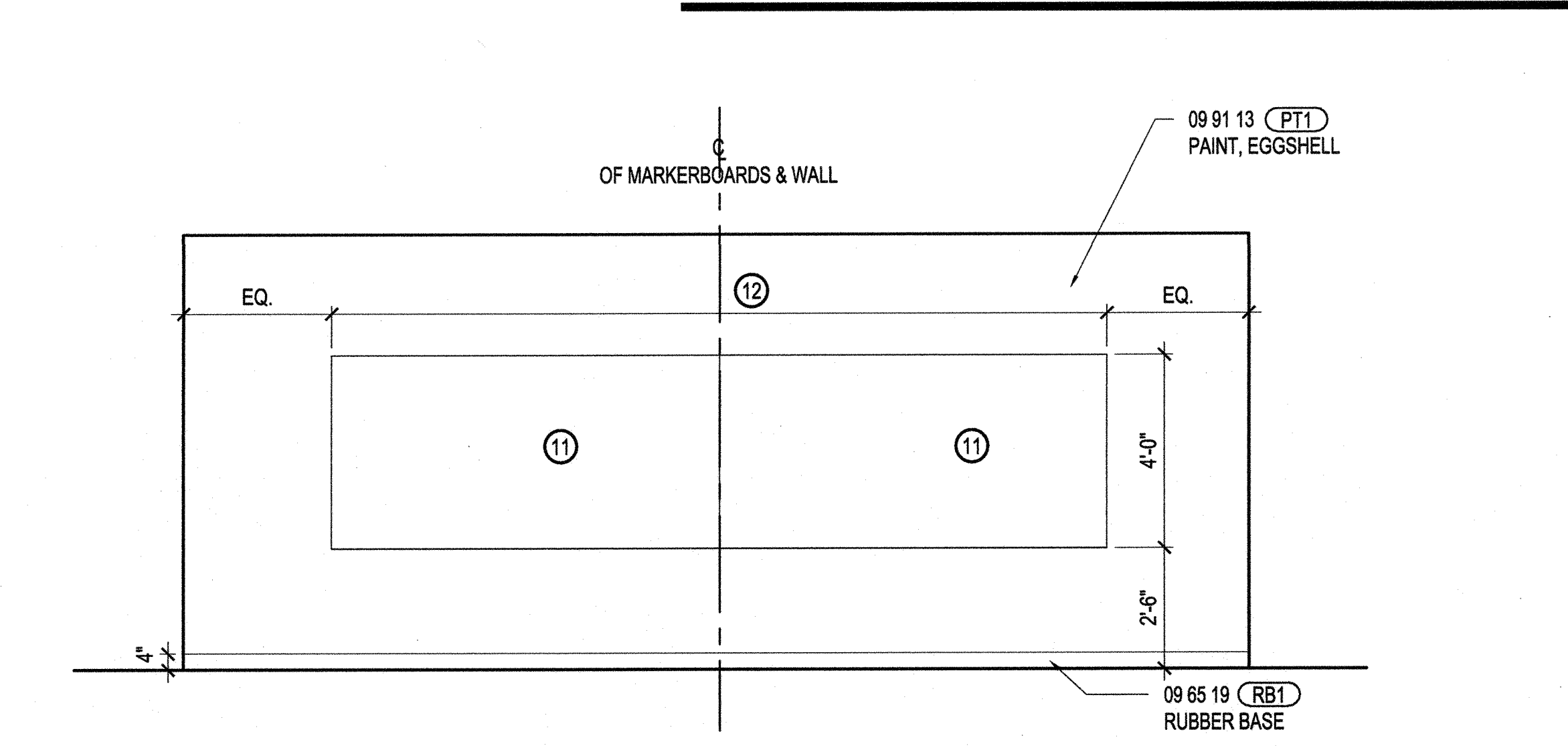
**TACKBOARD ELEVATION 11**  
SCALE: 3/8" = 1'-0"



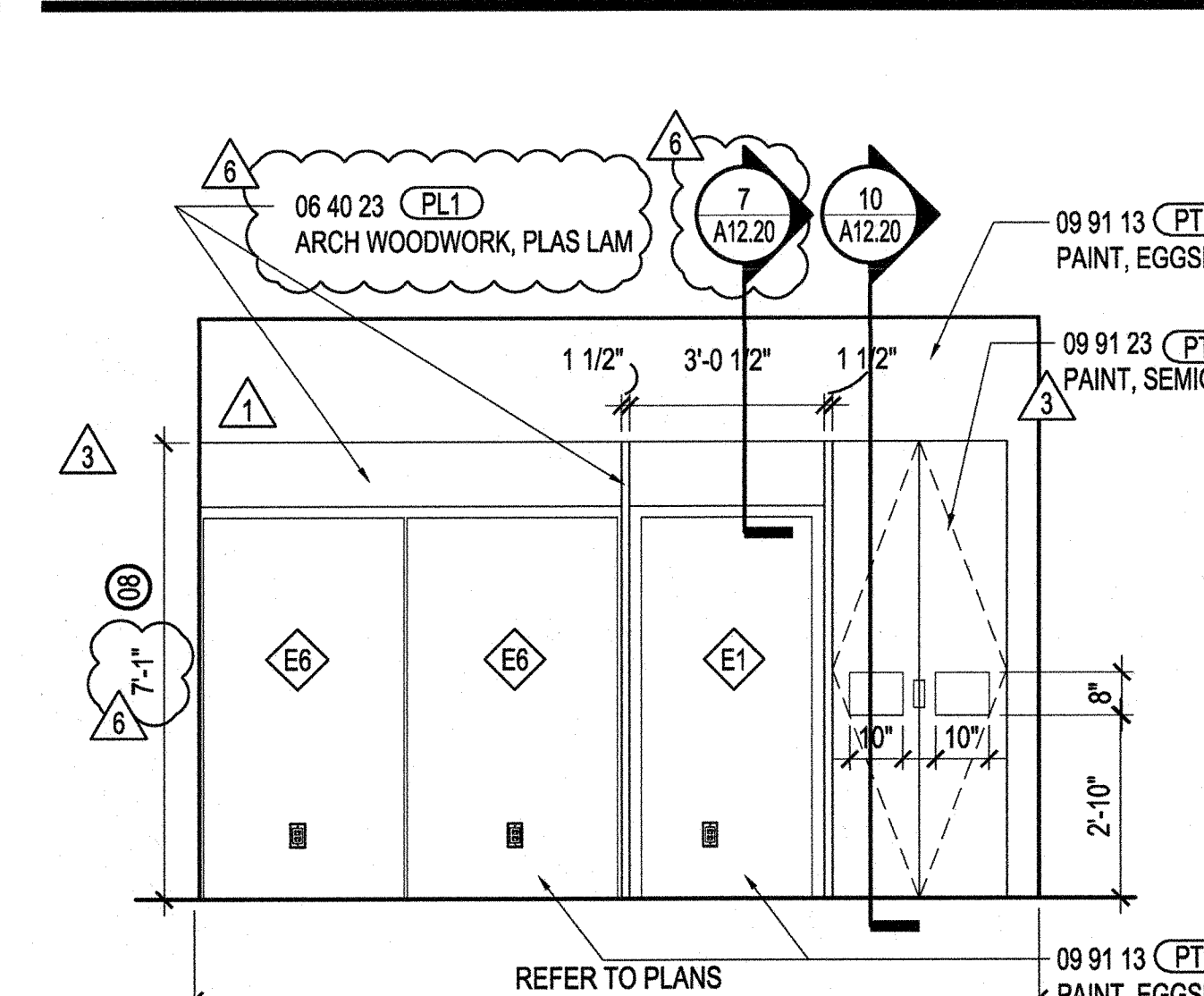
**7 INTERACTIVE KIOSK ELEVATION**  
SCALE: 3/8" = 1'-0"



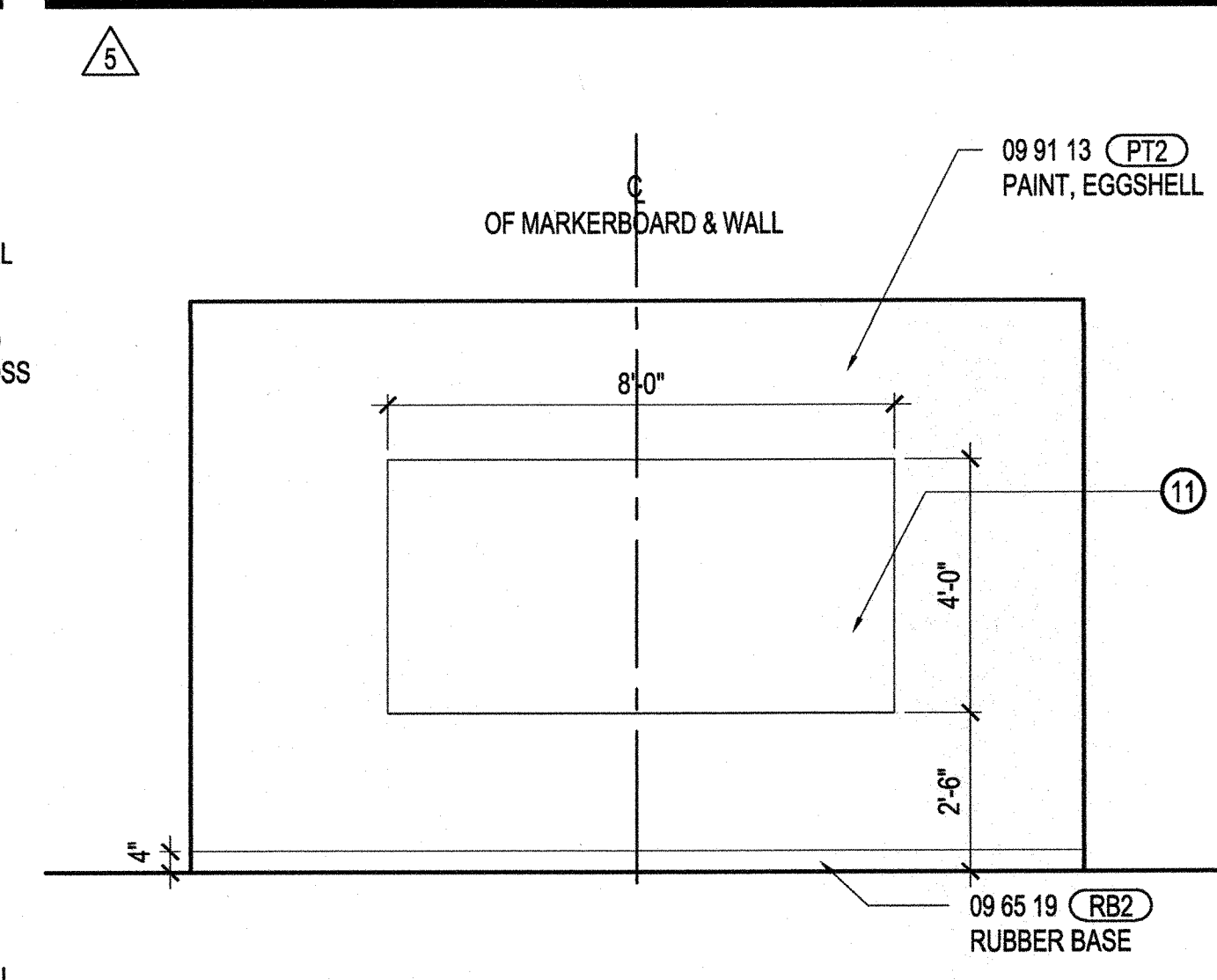
**3 TYP. CONF. MARKERBOARD ELEV. 3**  
SCALE: 3/8" = 1'-0"



**DOUBLE MARKERBOARD ELEV.**  
SCALE: 3/8" = 1'-0"



**12 PANTRY ELEVATION**  
SCALE: 3/8" = 1'-0"



**8 BREAKOUT RM. MARKERBOARD ELEV. 4**  
SCALE: 3/8" = 1'-0"

**SHEET NOTES**

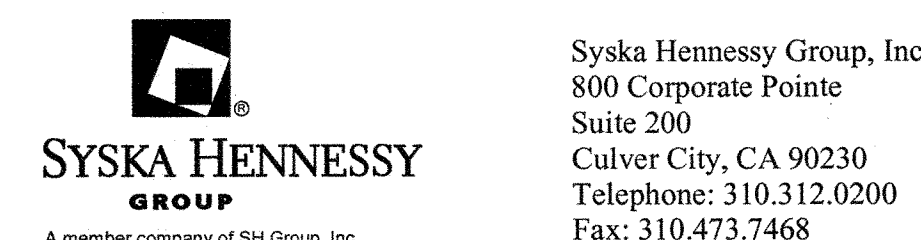
- 1) REFER TO PLANS FOR QUANTITY OF EQUALLY SIZED GLASS PANELS
- 2) FURNITURE BY OTHERS
- 3) WALL OUTLET. COORDINATE WITH A00.10 & POWER PLANS.
- 4) PROVIDE BLOCKING FOR MOUNTING OF SCHEDULED AV EQUIPMENT
- 5) COORDINATE SIZE OF OPENING WITH AV EQUIPMENT SPECIFICATION. REFER TO AV DRAWINGS.
- 6) PROVIDE SCHEDULED DISTRACTION MARKERS, GF.1. SEE FINISH SCHEDULE FOR DETAILS.
- 7) NUMBER OF EQUAL CABINETS VARIES. REFER TO PLANS FOR COUNTER WIDTH.
- 8) CABINET SIZES TO BE MAXIMIZED SUCH THAT NO CABINET DOOR EXCEEDS 1'-6"
- 9) COORDINATE WITH REFRIGERATOR HEIGHT.
- 10) COORDINATE WITH SIZE OF PANEL WITH AV EQUIPMENT. REFER TO AV DRAWINGS.
- 11) PULLS TO BE ROCKWOOD RM7810 - GEOMETEK; US32/629. MOUNTED 30" OFF FLOOR AND ALIGNING WITH DISTRACTION MARKERS.
- 12) QUANTITY OF MARKERBOARDS VARIES. SEE FURNITURE PLAN.
- 13) OUTRIGGER FOR COUNTER SUPPORT.
- 14) COFFEE MAKER SUPPLIED BY OWNER



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Issue	Date & Issue Description	By	Check
01	08/22/12	SJ	SJ
02	07/31/12	ES/MC	SJ
03	08/10/12	ES/MC	SJ
04	10/05/12	ES/MC	SJ
05	12/21/12	ES	SJ
06	11/19/12	ES	SJ
07	02/21/13	ES	SJ

**GENERAL NOTES**

Seal/Signature

Project Name  
VERIZON V.I.P.

Project Number  
06.8740.000

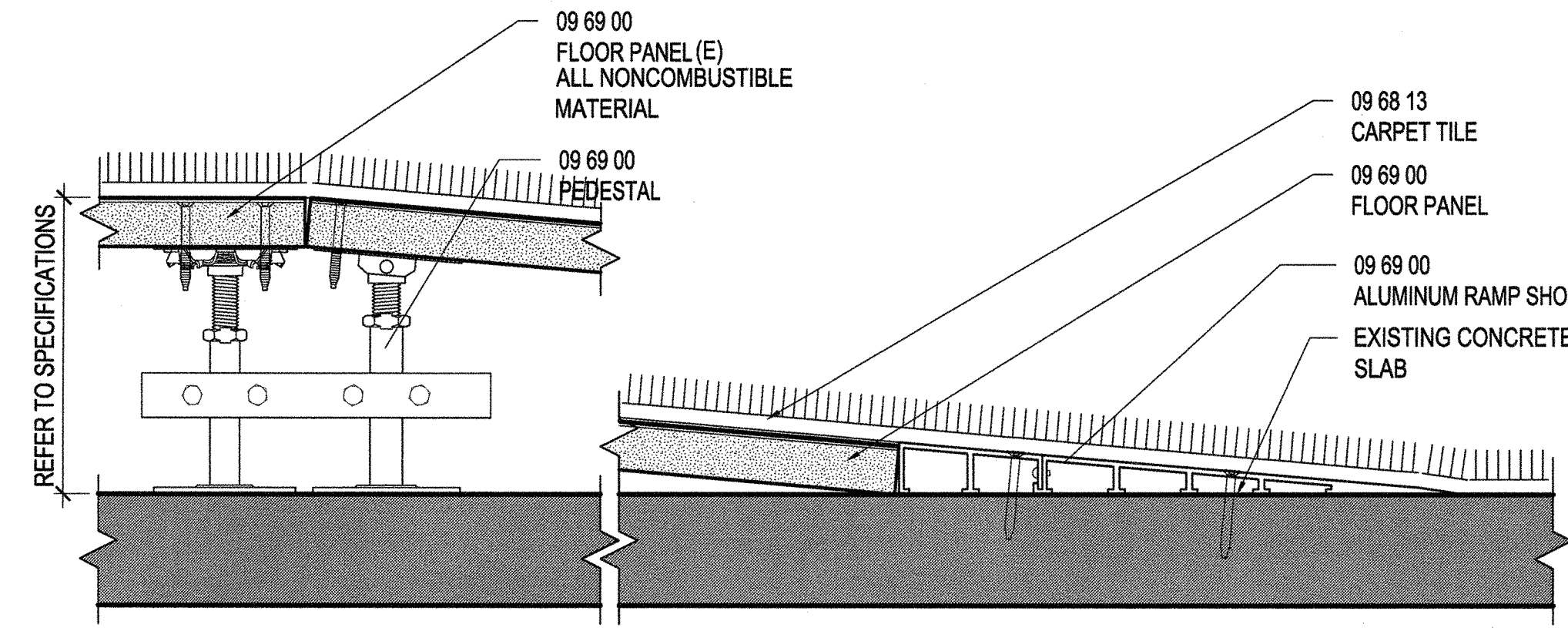
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A11-00

Description  
INTERIOR ELEVATION

Scale

**A11.00\_SD**

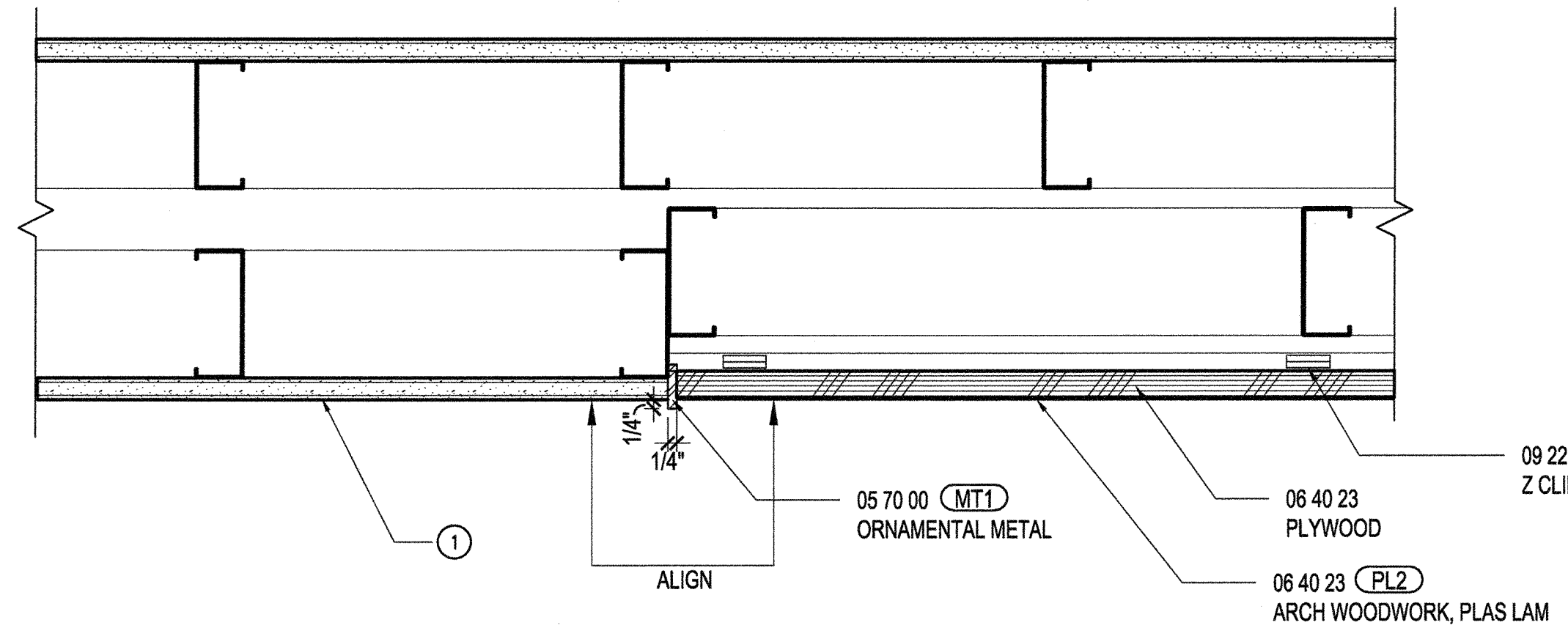
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**TYPICAL RAISED FLOOR RAMP SECTION**

SCALE: 3" = 1'-0"

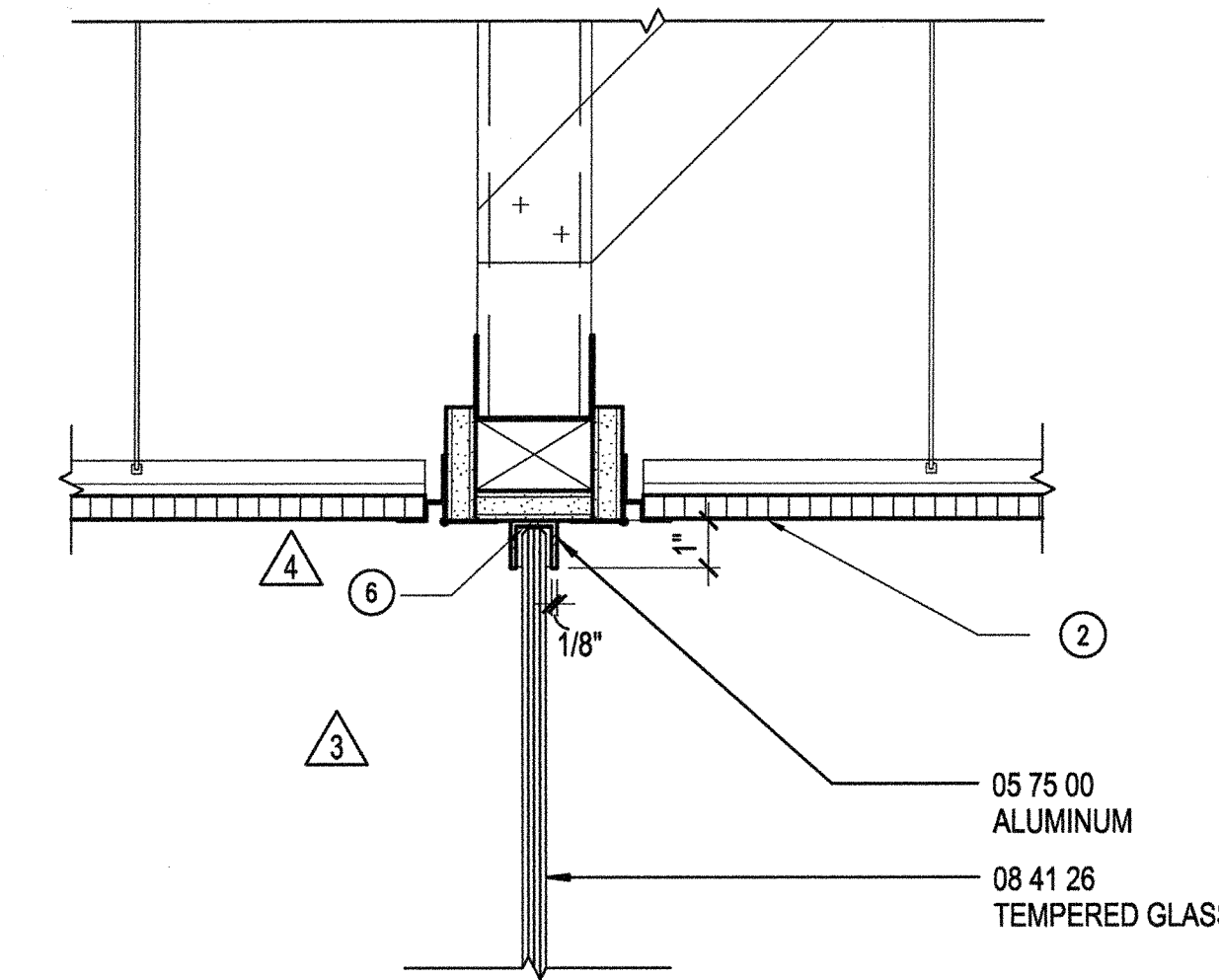
**13**



**PLAN DETAIL AT PLAS-LAM/GYP TRANSITION**

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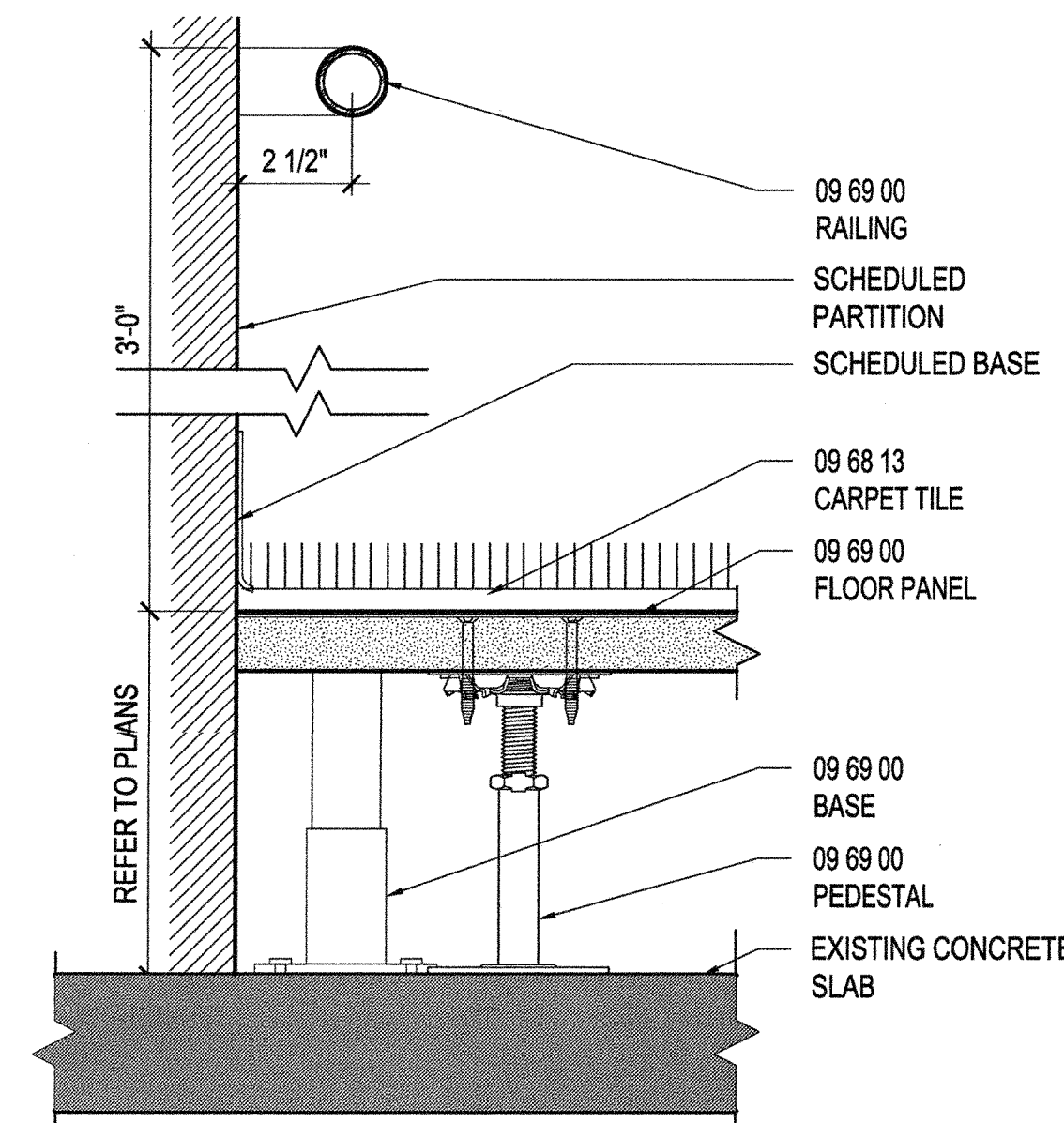
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**GLASS HEAD DETAIL**

SCALE: 3" = 1'-0"

**1**



**RAILINGS AT RAISED FLOOR RAMP**

SCALE: 3" = 1'-0"

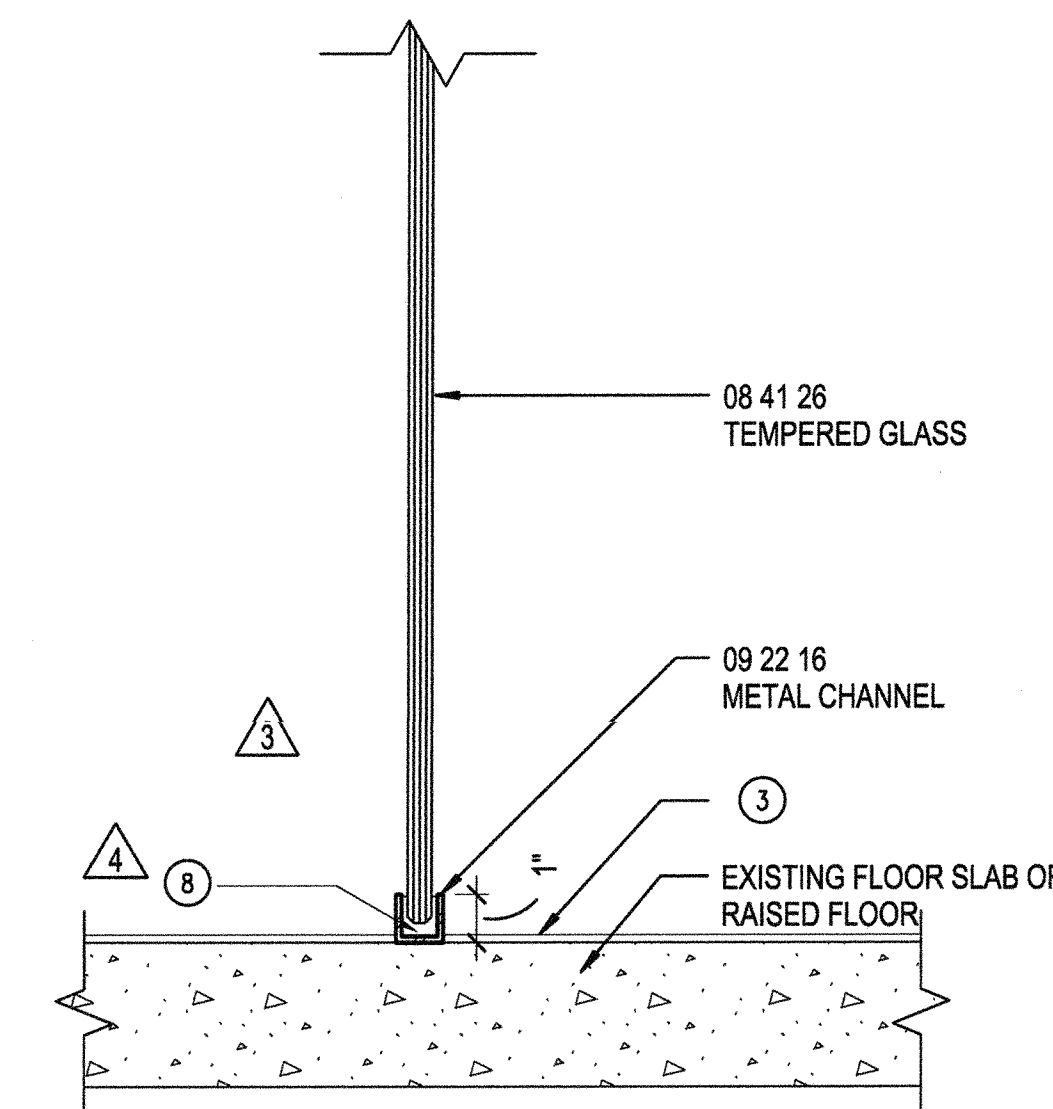
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**14**

**NOT USED**

SCALE: 3" = 1'-0"

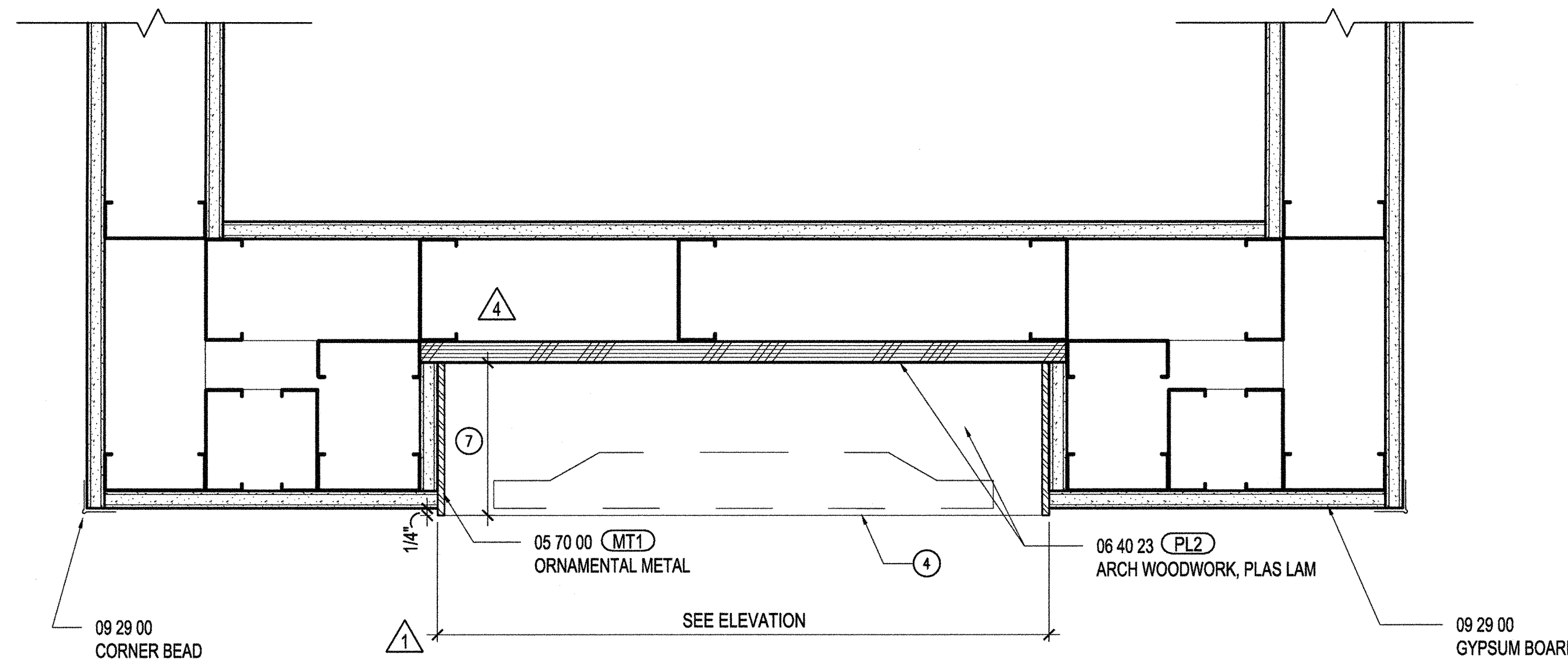
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**GLASS BASE DETAIL**

SCALE: 3" = 1'-0"

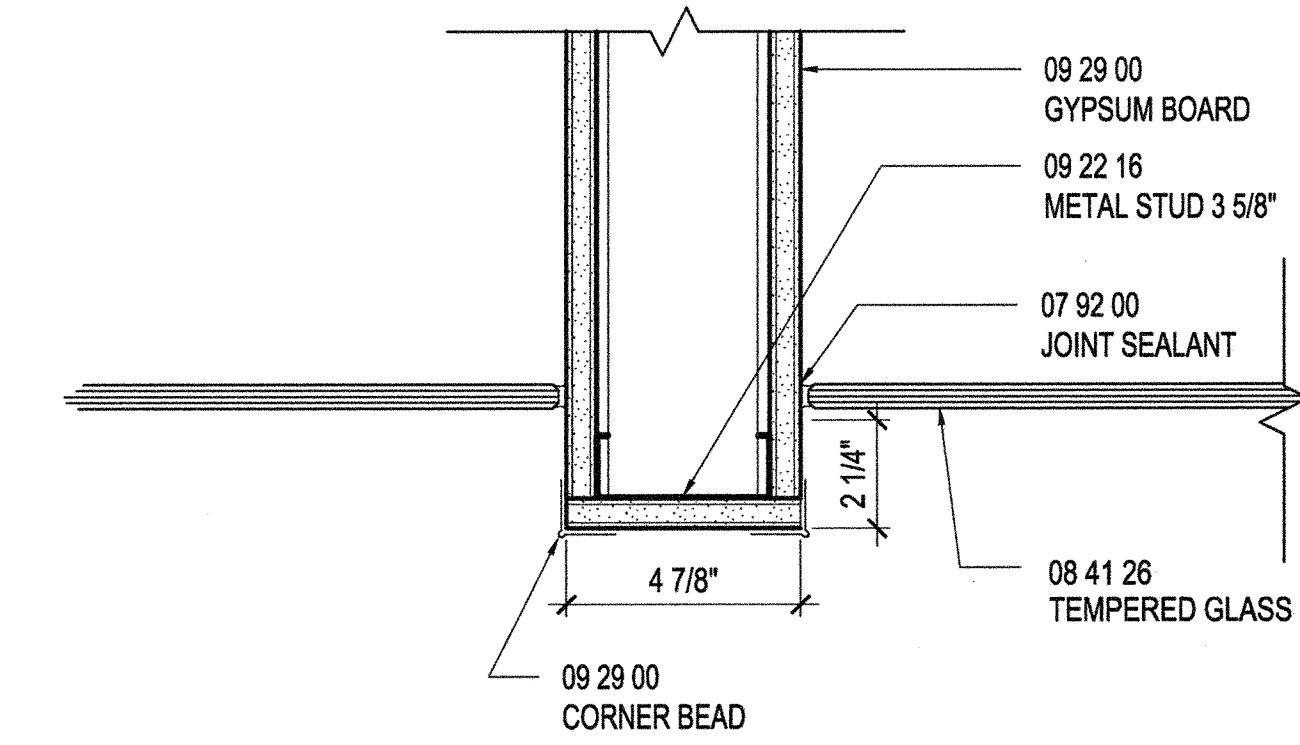
**2**



**PLAN DETAIL AT INTERACTIVE KIOSK**

SCALE: 3" = 1'-0"

**7**



**TRANSITION DETAIL GLAZING TO GYP**

SCALE: 3" = 1'-0"

**GENERAL NOTES**

**SHEET NOTES**

- ① SCHEDULED OR EXISTING PARTITION; REFER TO CONSTRUCTION PLAN
- ② SCHEDULED OR EXISTING CEILING; REFER TO REFLECTED CEILING PLAN
- ③ SCHEDULED OR EXISTING FLOOR FINISH; REFER TO FINISH PLAN
- ④ SCHEDULED MONITOR
- ⑤ SCHEDULED DOOR
- ⑥ ALUMINUM CHANNEL TO BE MECHANICALLY FASTENED TO FRAMED HEADER ABOVE.
- ⑦ VARIES:  
7" @ BREAKOUT ROOM  
5" @ INTERACTIVE KIOSK
- ⑧ ALUMINUM CHANNEL TO BE MECHANICALLY FASTENED WITH EXPANSION ANCHORS TO SLAB.



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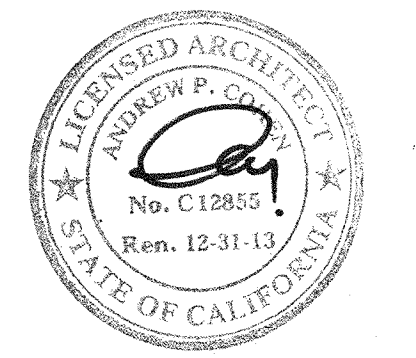
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800 Corporate Pointe  
Suite 200  
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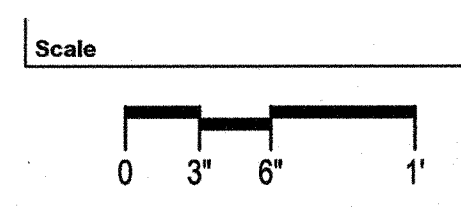
Issue	Date & Issue Description	By	Check
01	05/22/12 PROGRESS SET	SJ	SJ
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1	03 08/10/12 ISSUED FOR CONSTRUCTION	ESIMC	SJ
2	04 09/12/12 BULLETIN #1	ESIMC	SJ
3	05 10/05/12 REVISED FOR PLAN CHECK COMMENTS	ES	SJ
4	06 12/21/12 PLAN CHECK	ES	SJ
5	07 11/19/12 BULLETIN #3	ES	SJ
6	08 02/21/13 BULLETIN #4	ES	SJ

Seal/Signature



Project Name  
VERIZON V.I.P.

Project Number  
06.8740.000  
CAD File Name  
A12-00  
Description  
TYPICAL GLASS FRONT AND PLAN DETAILS



**A12.00\_SD**

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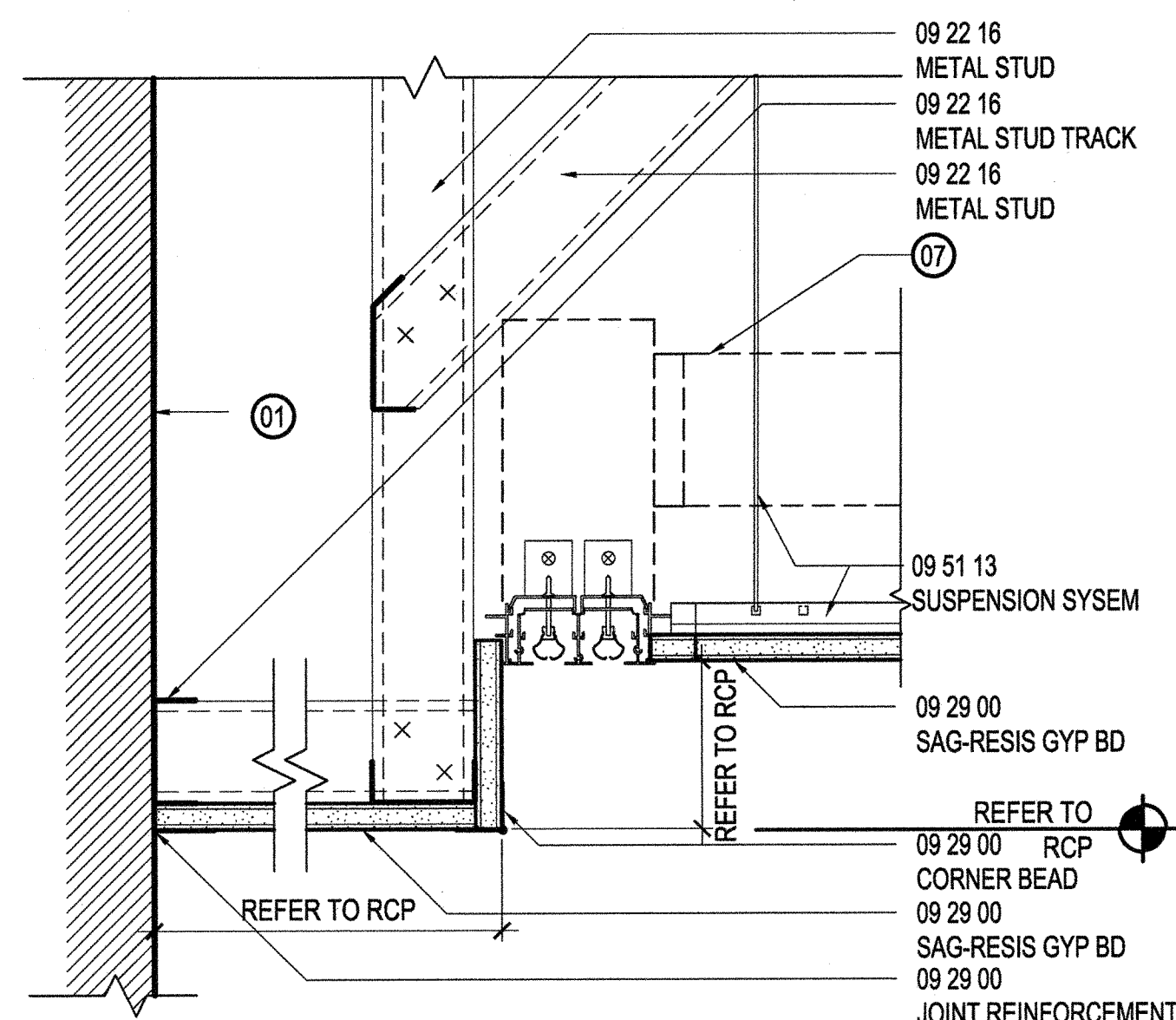
**REVEAL AT PAINT TRANSITION**

SCALE: 3" = 1'-0"

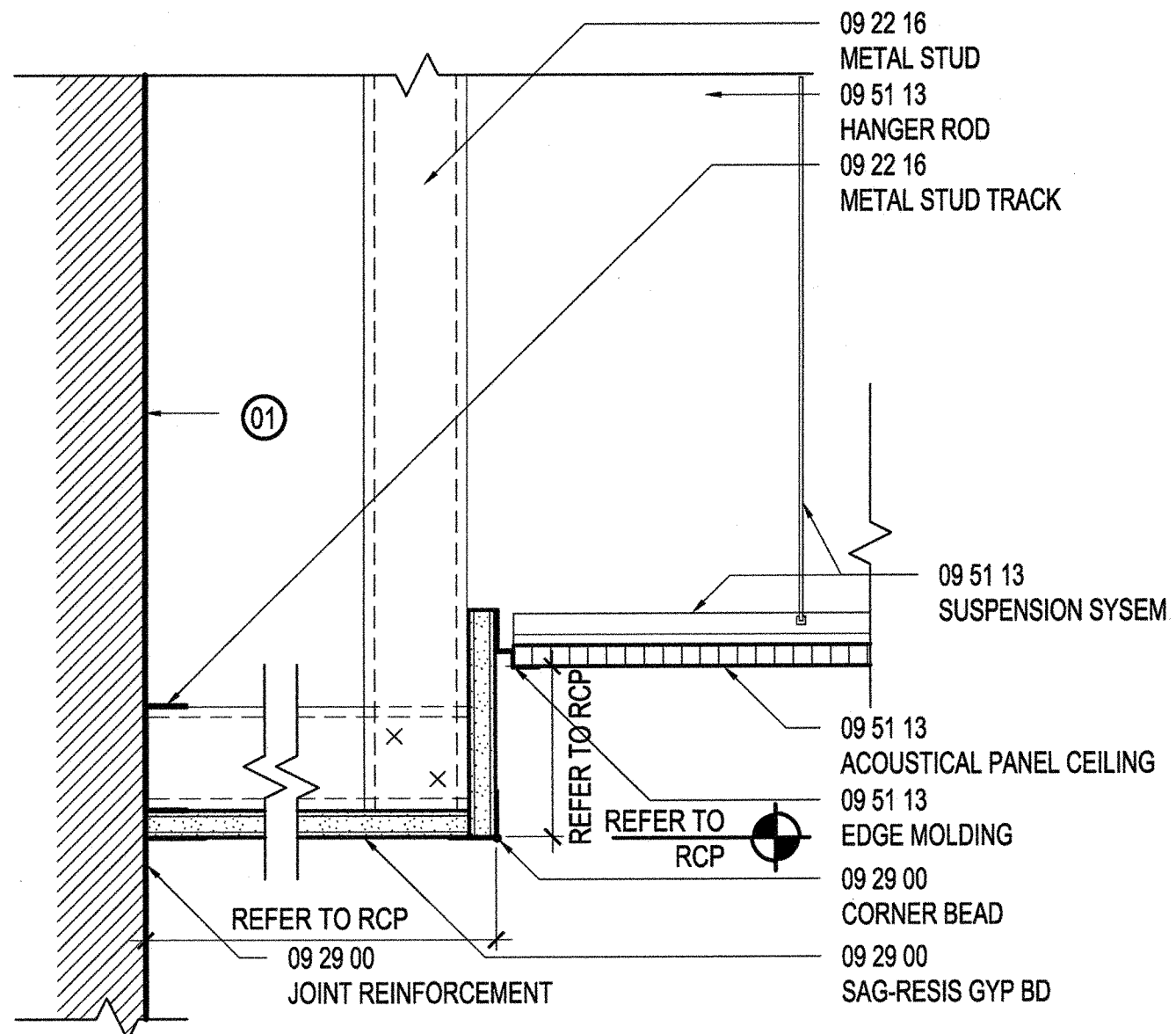
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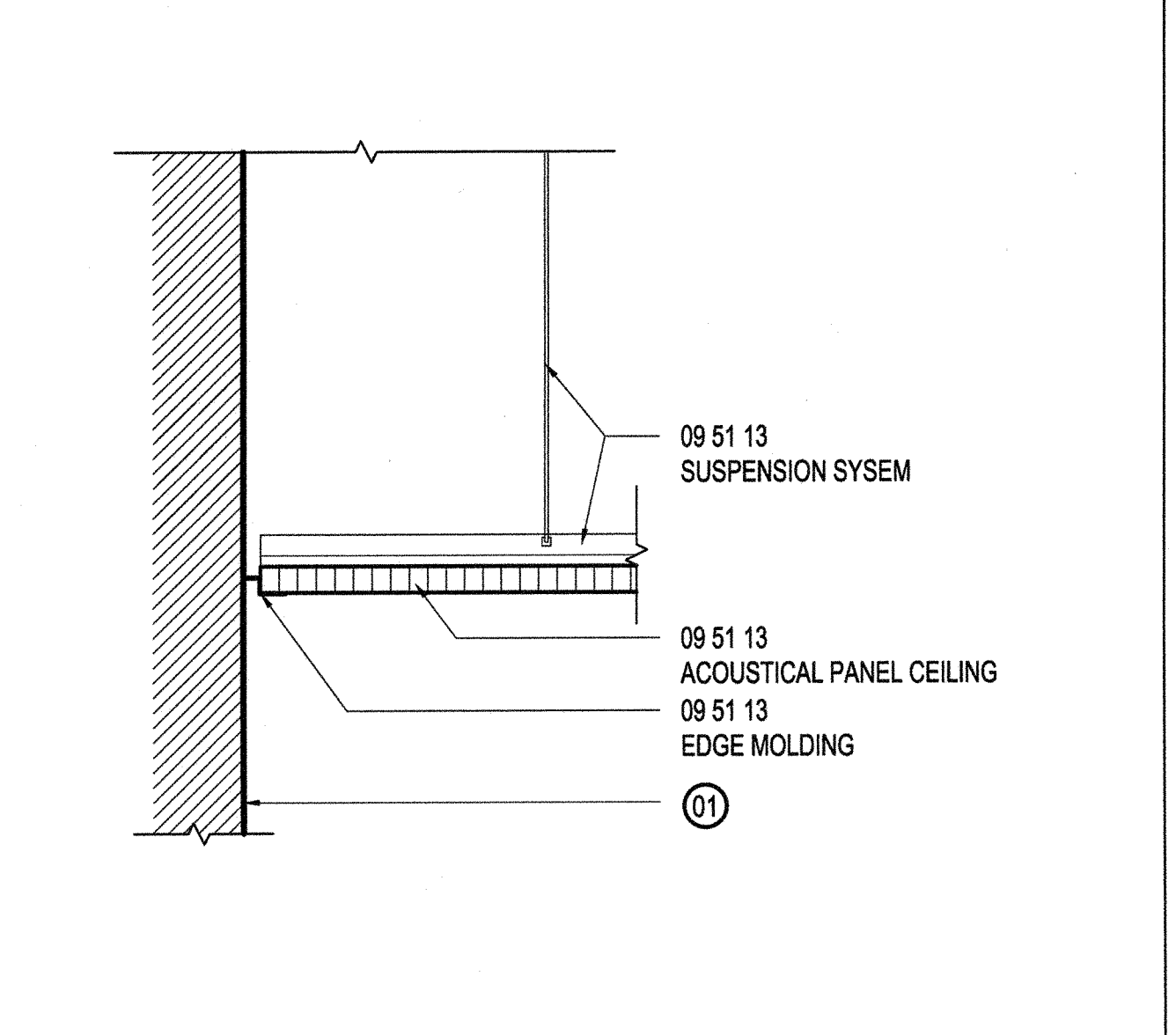
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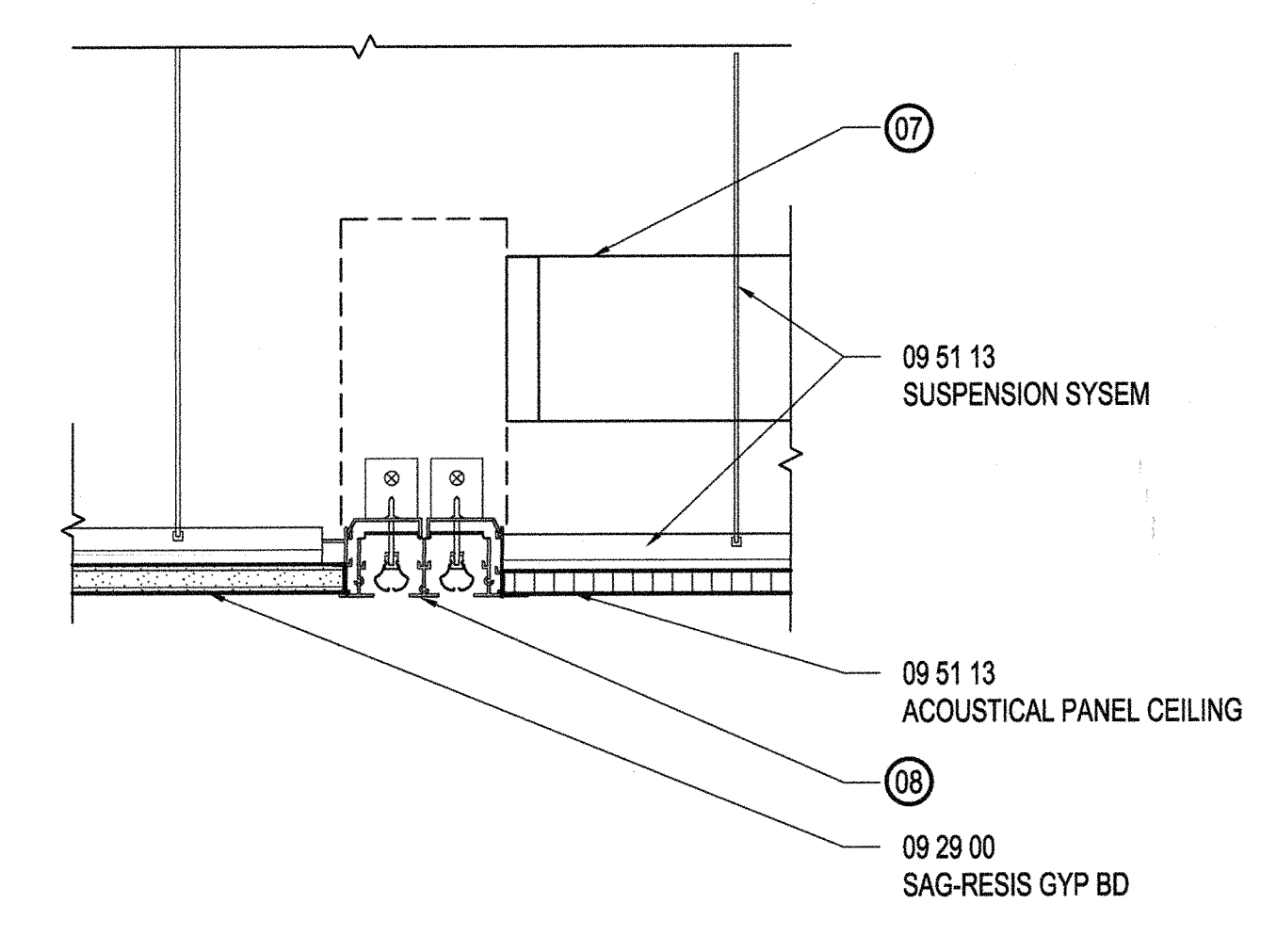
**LINEAR DIFFUSER @ GWB SOFFIT** 9  
SCALE: 3" = 1'-0"



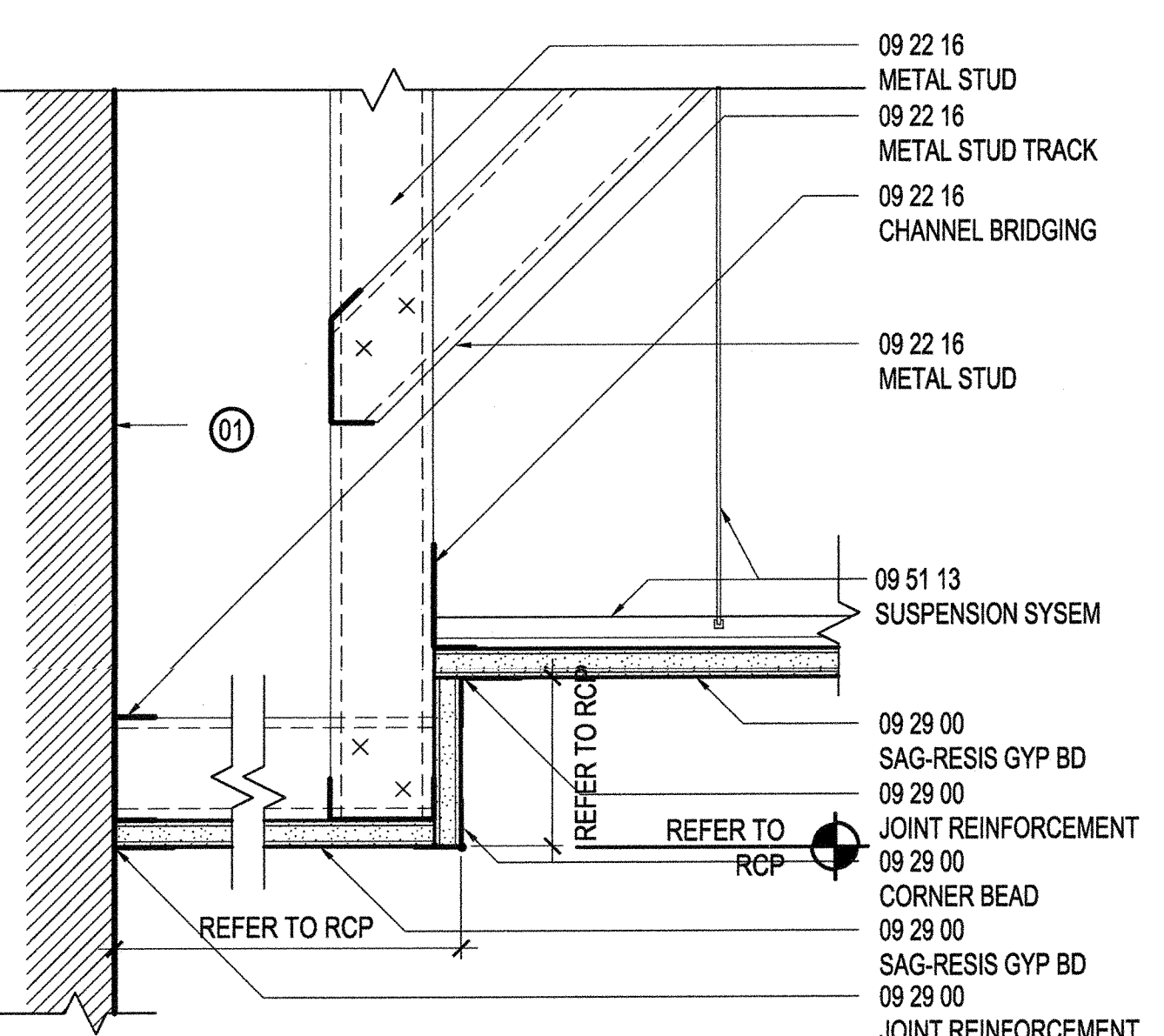
**GWB SOFFIT @ ACT CEIL.** 5  
SCALE: 3" = 1'-0"



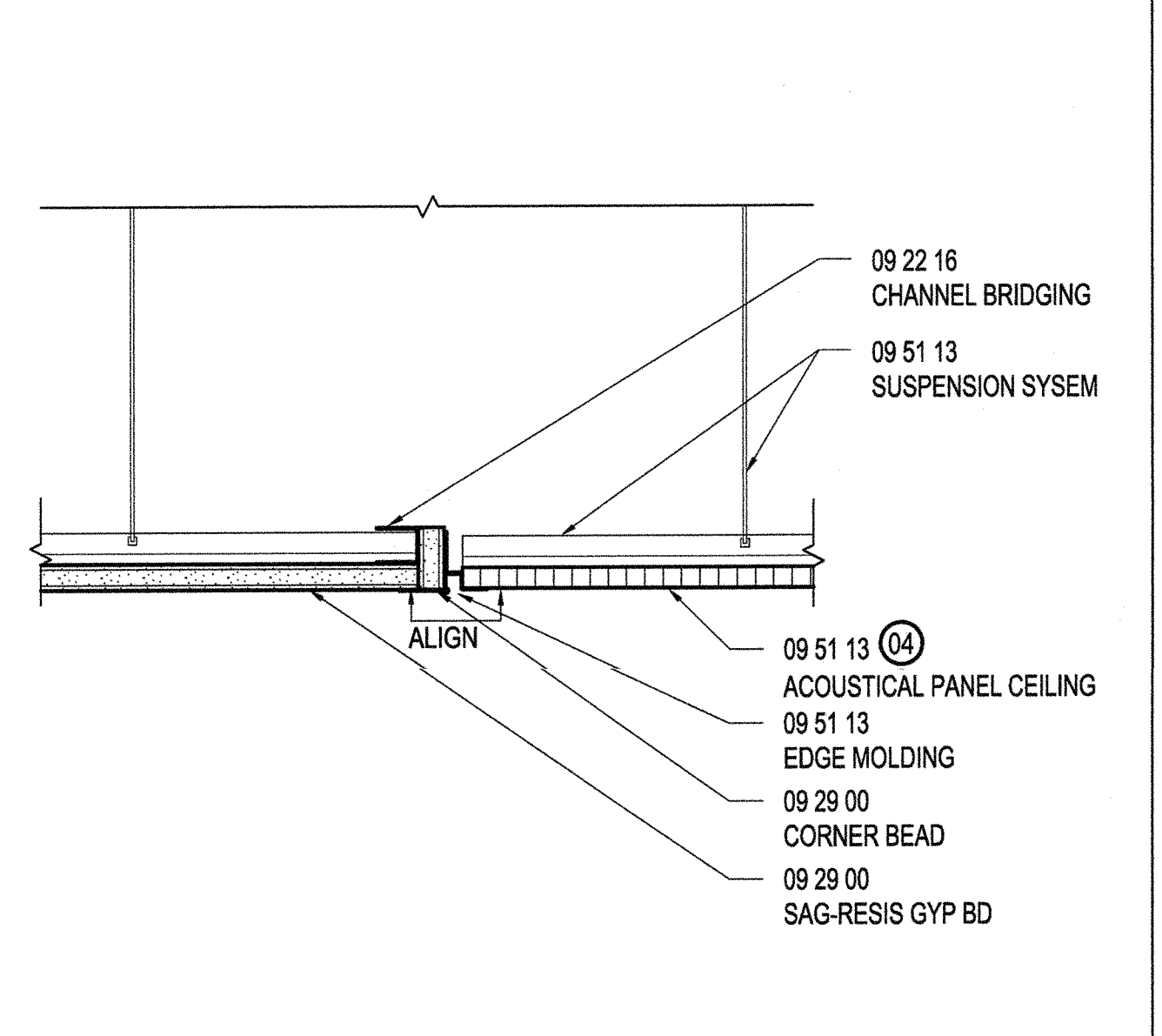
**TYP. SHADOW MOLDING DETAIL** 1  
SCALE: 3" = 1'-0"



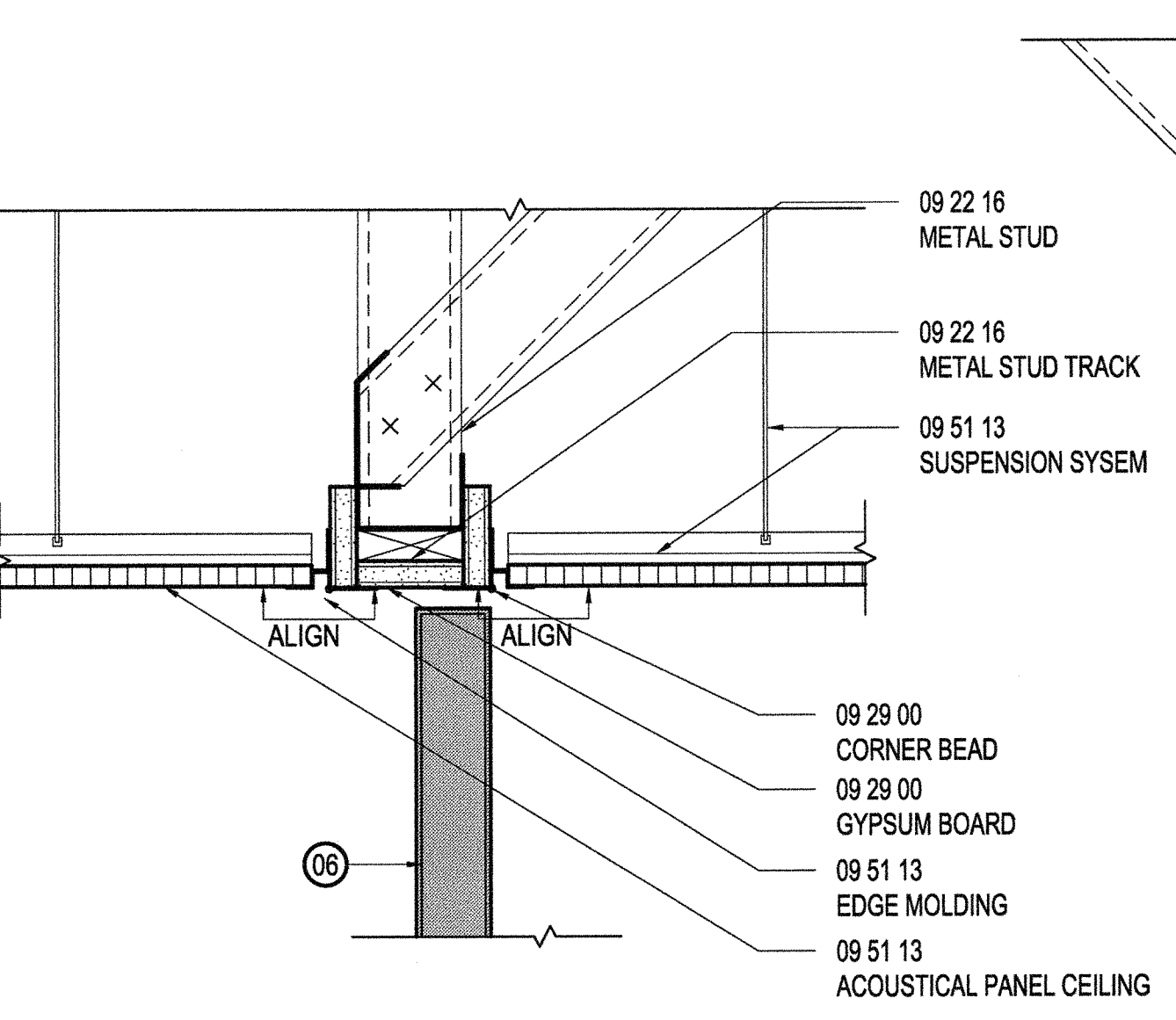
**LINEAR DIFFUSER @ GWB & ACT** 10  
SCALE: 3" = 1'-0"



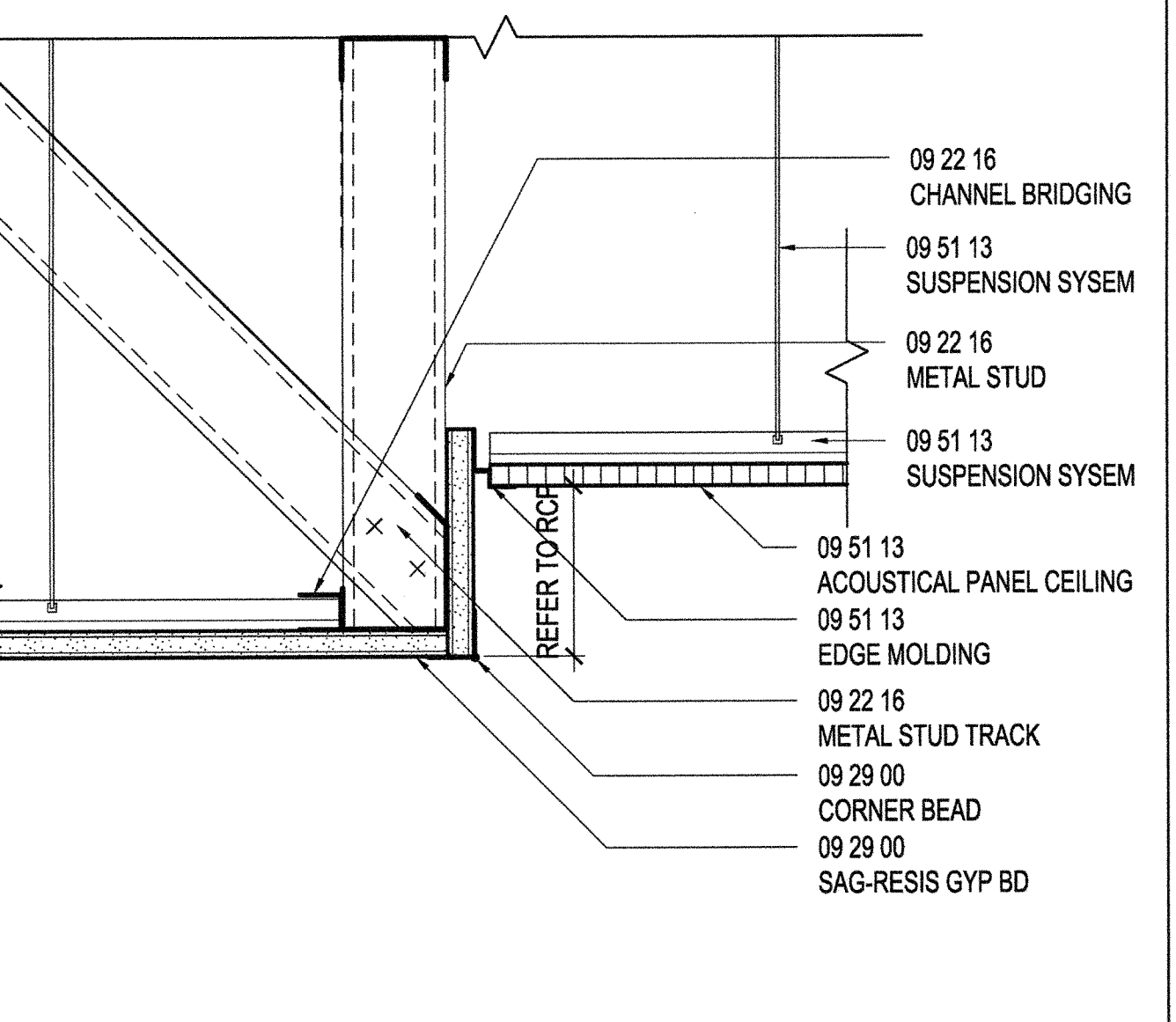
**GWB SOFFIT @ GWB CEIL.** 6  
SCALE: 3" = 1'-0"



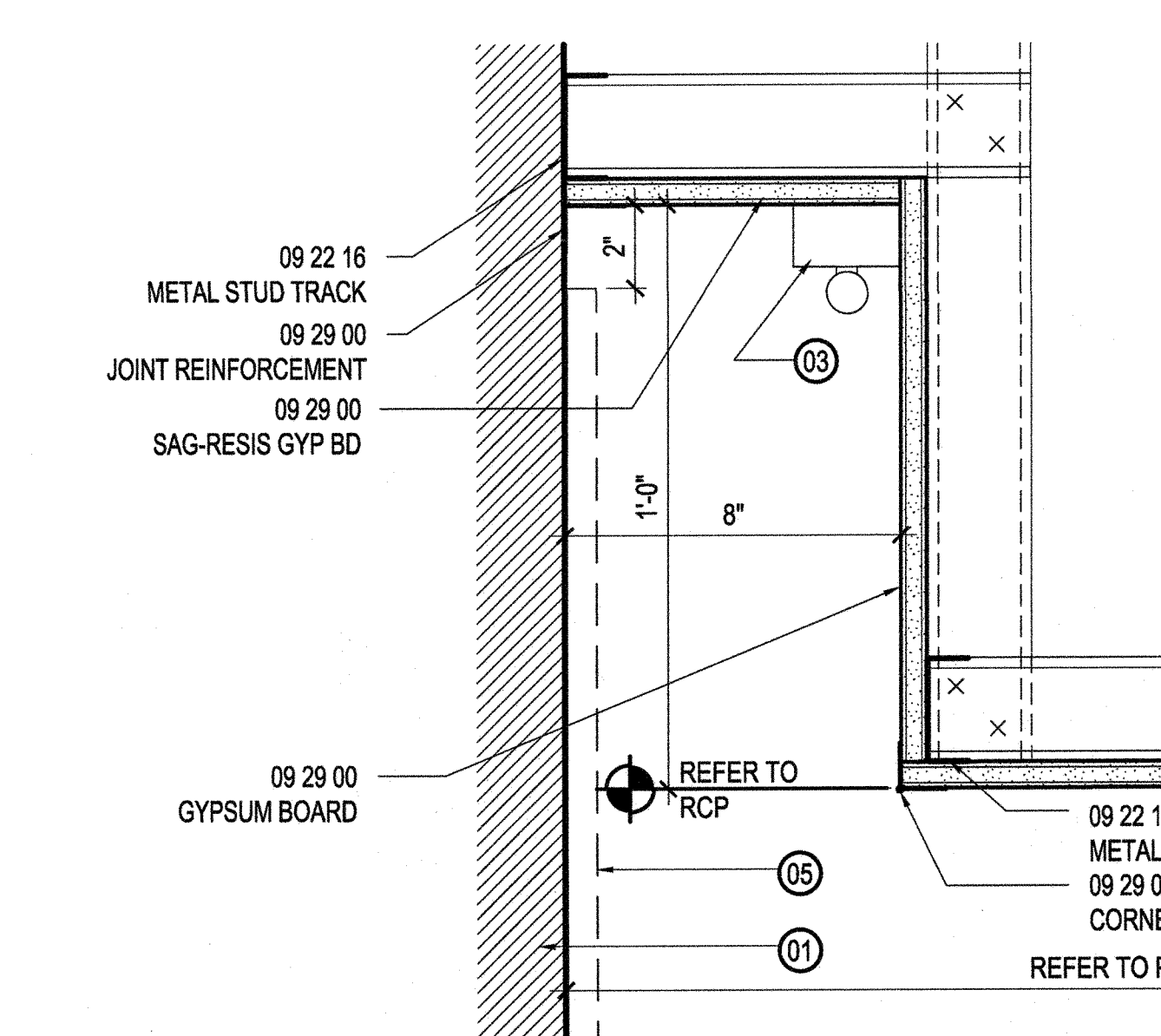
**FLUSH CEILING TRANSITION** 2  
SCALE: 3" = 1'-0"



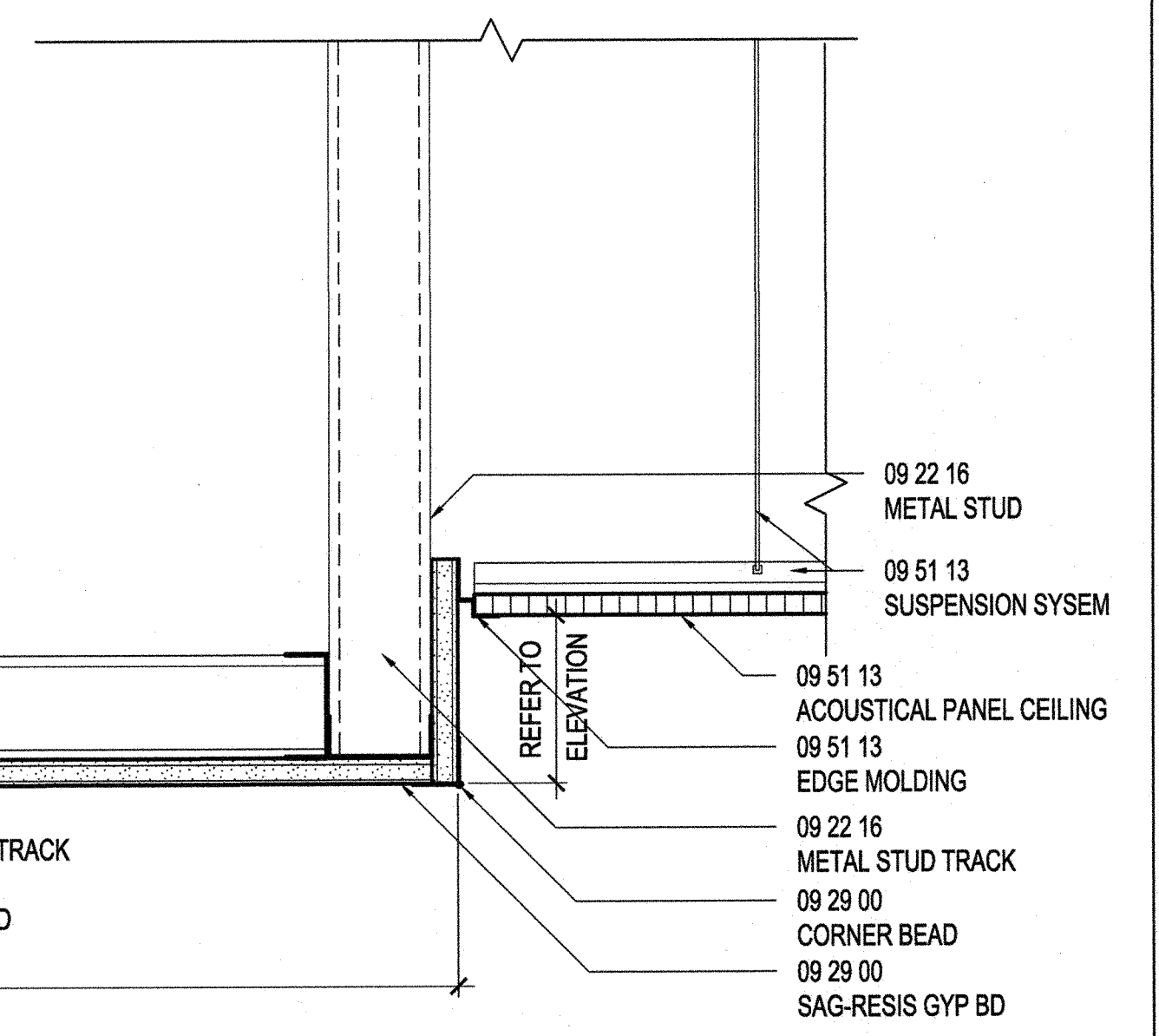
**FLUSH HEADER** 7  
SCALE: 3" = 1'-0"



**TYP. STEPPED HEADER** 3  
SCALE: 3" = 1'-0"



**TYP. LIGHT COVE** 4  
SCALE: 3" = 1'-0"



**TYP. LIGHT COVE** 4  
SCALE: 3" = 1'-0"

**SHEET NOTES**

- 01 SCHEDULED OR EXISTING PARTITION; REFER TO CONSTRUCTION PLAN
- 02 RETURN AIR SLOT; REFER TO ENGINEERING DRAWINGS
- 03 SCHEDULED LIGHT FIXTURE; REFER TO REFLECTED CEILING PLAN
- 04 NEW OR EXISTING. REFER TO RCP.
- 05 SCHEDULED WALL FINISH; REFER TO FINISH PLAN. SCHEDULED FINISH TO EXTEND UP TO 2" BELOW COVE CEILING AS SHOWN.
- 06 SCHEDULED DOOR IF APPLICABLE.



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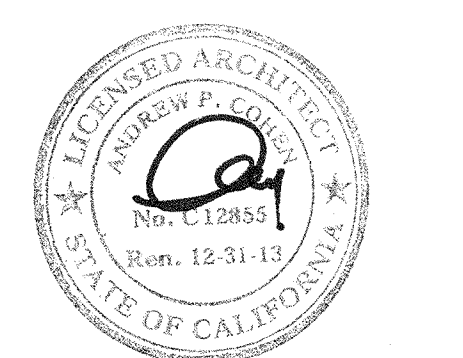
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800 Corporate Pointe  
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Calver City, CA 90230  
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CITY OF OAKLAND  
PERMIT CENTER  
THIS SET OF PLANS AND SPECIFICATIONS MUST BE EXAMINED BY THE CITY OF OAKLAND PERMIT CENTER AND ALL CHANGES MUST BE MADE TO THE PLANS AND SPECIFICATIONS BEFORE THE SET IS SUBMITTED TO THE CITY OF OAKLAND PERMIT CENTER FOR REVIEW AND APPROVAL. THE CITY OF OAKLAND PERMIT CENTER SHALL NOT BE RESPONSIBLE FOR ANY CHANGES MADE TO THE PLANS AND SPECIFICATIONS AFTER THE SET IS SUBMITTED TO THE CITY OF OAKLAND PERMIT CENTER FOR REVIEW AND APPROVAL.

Issue	Date & Issue Description	By	Check
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3	04 10/05/12 REVISED FOR PLAN CHECK COMMENTS	ESIMC	SJ
4	05 12/21/12 PLAN CHECK	ES	SJ
6	06 02/21/13 BULLETIN #4	ES	SJ

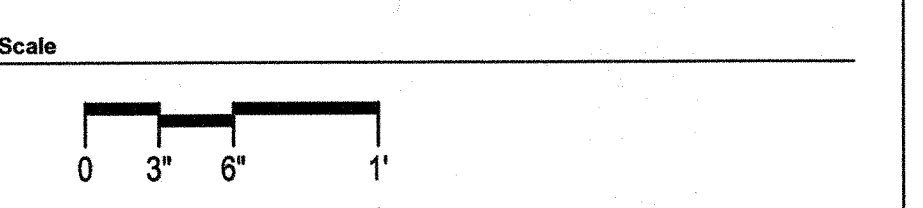
**GENERAL NOTES**

Seal/Signature

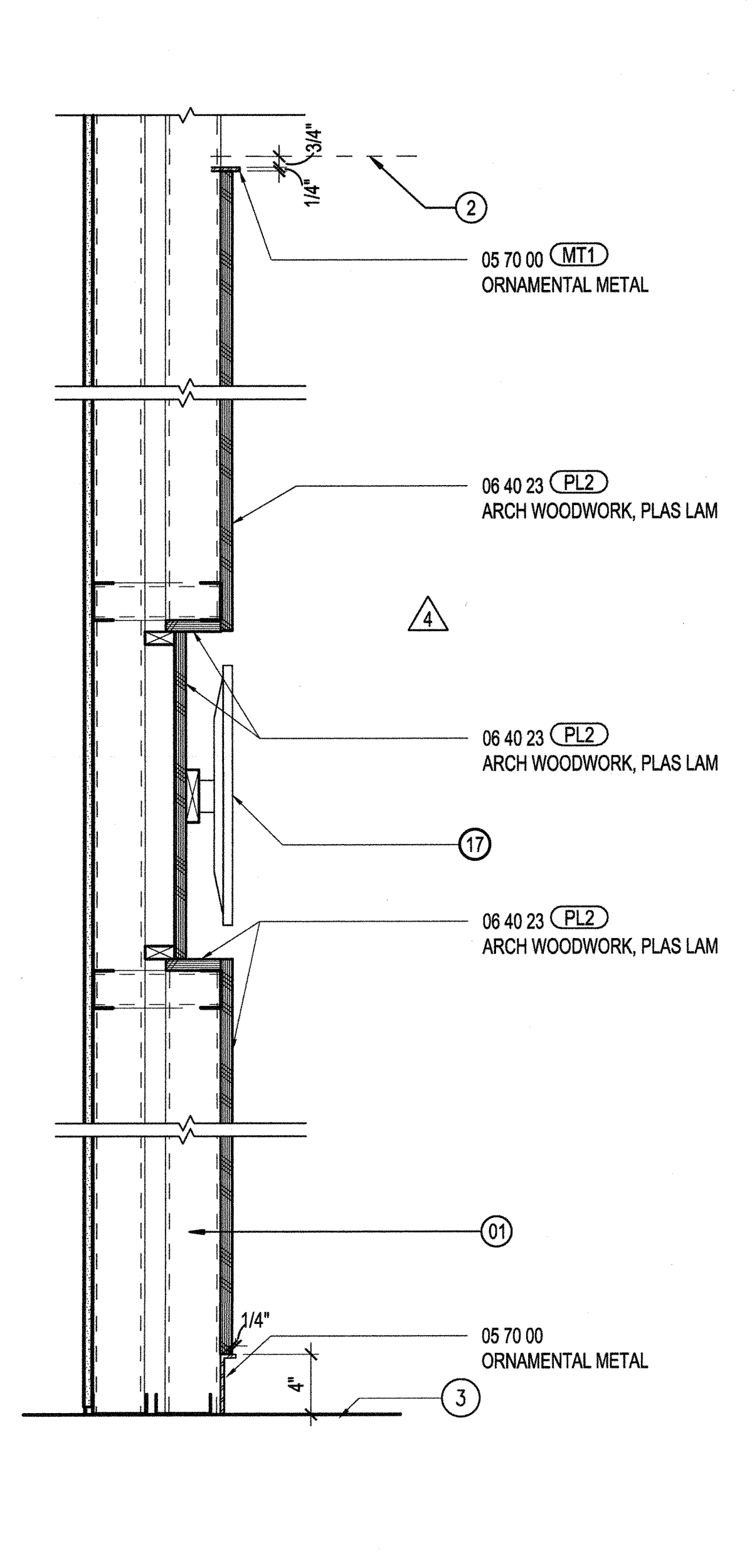


Project Name  
VERIZON V.I.P.

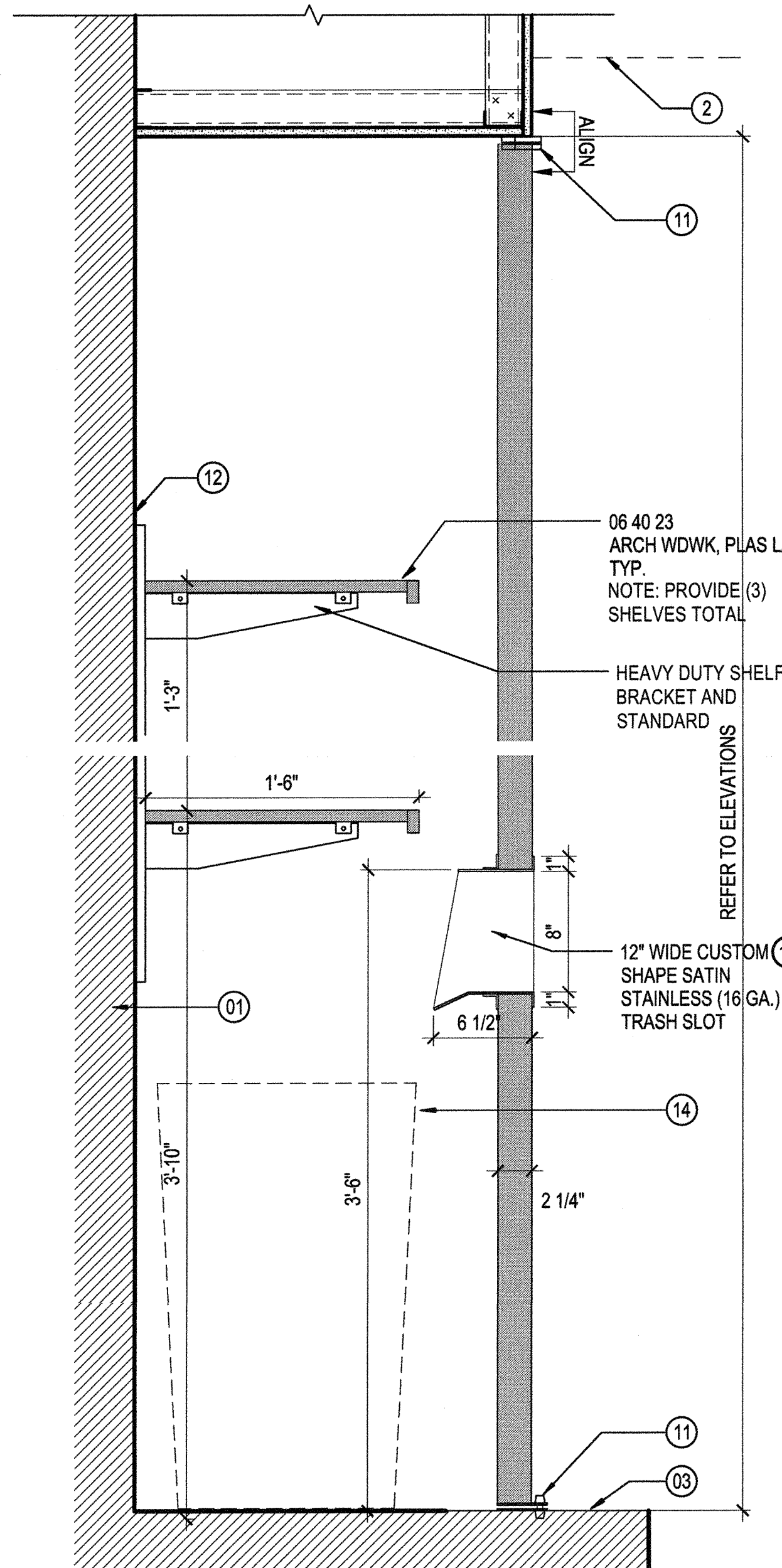
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06.8740.000  
CAD File Name  
A12-00  
Description  
TYPICAL CEILING DETAILS



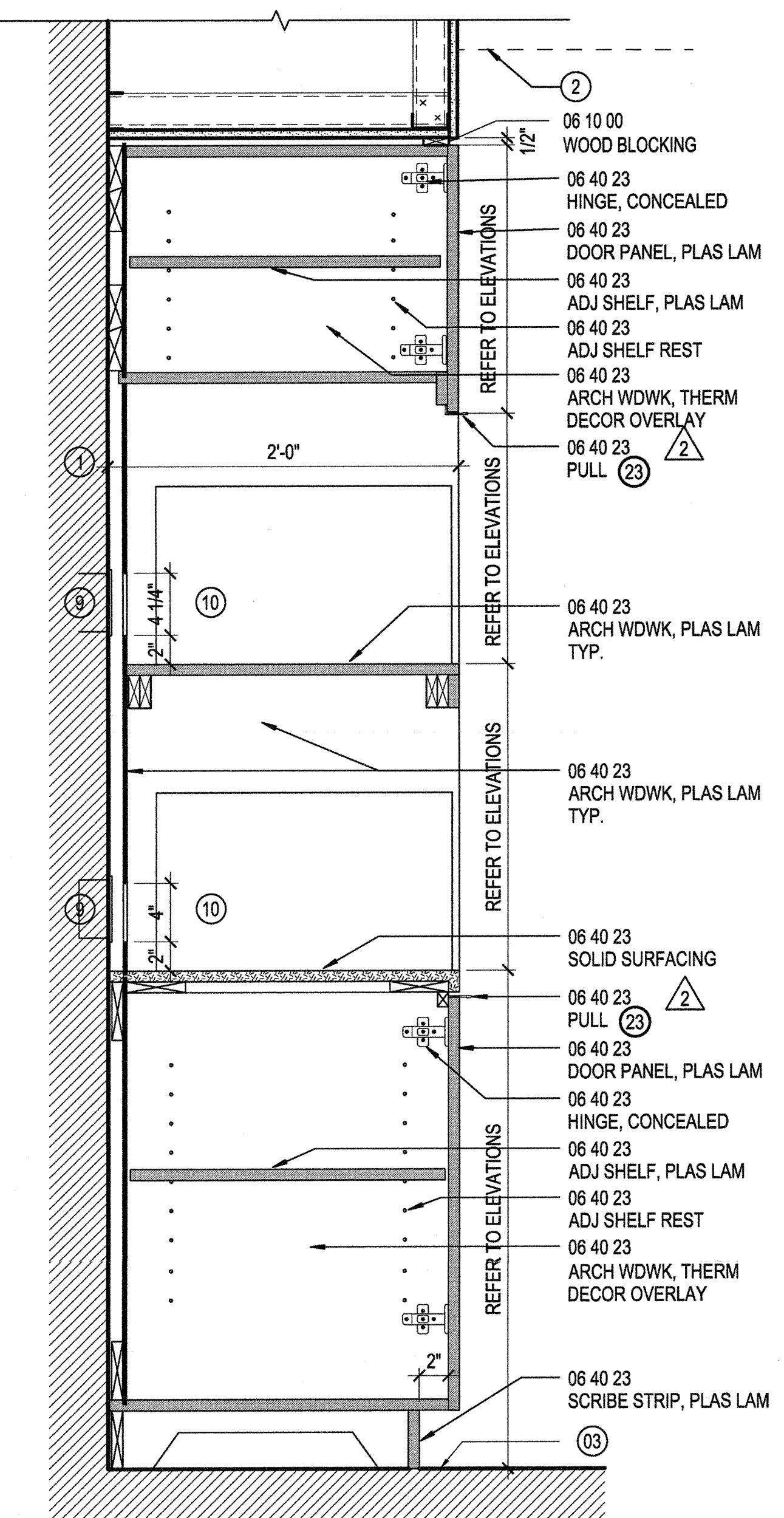
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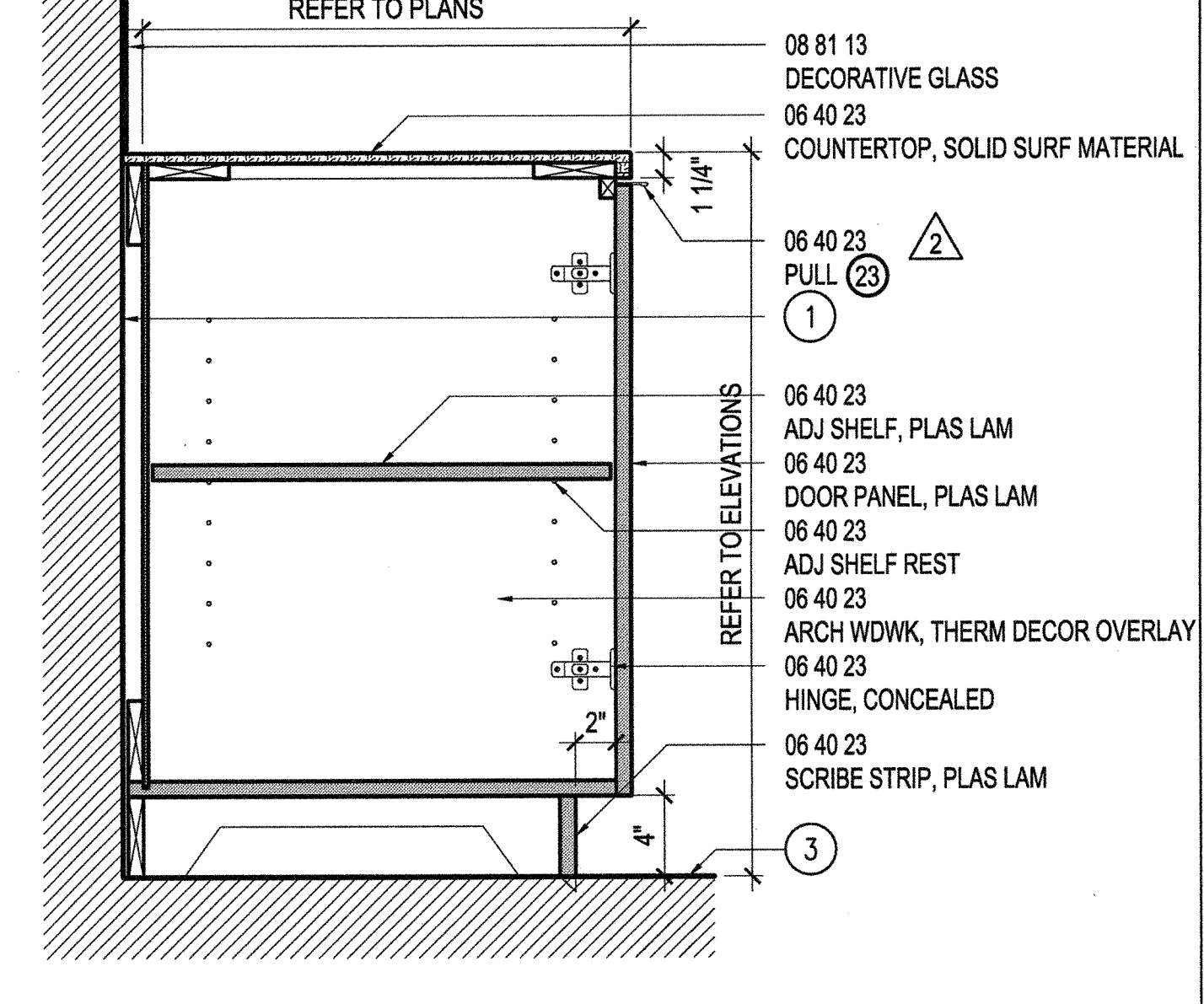
**INTERACTIVE KIOSK SECTION DETAIL 4**  
SCALE: 1 1/2" = 1'-0"



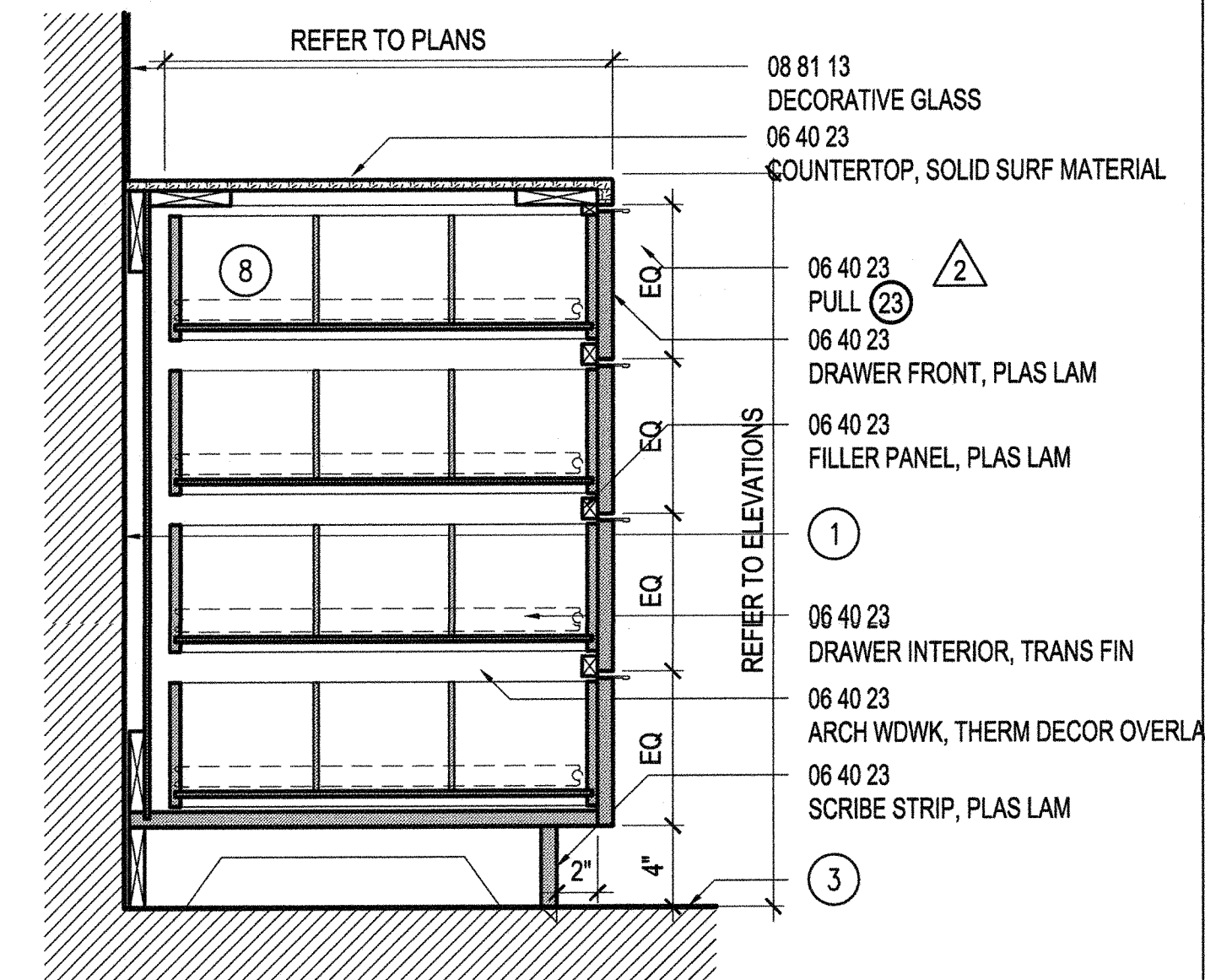
**TRASH CABINET 10**  
SCALE: 1 1/2" = 1'-0"



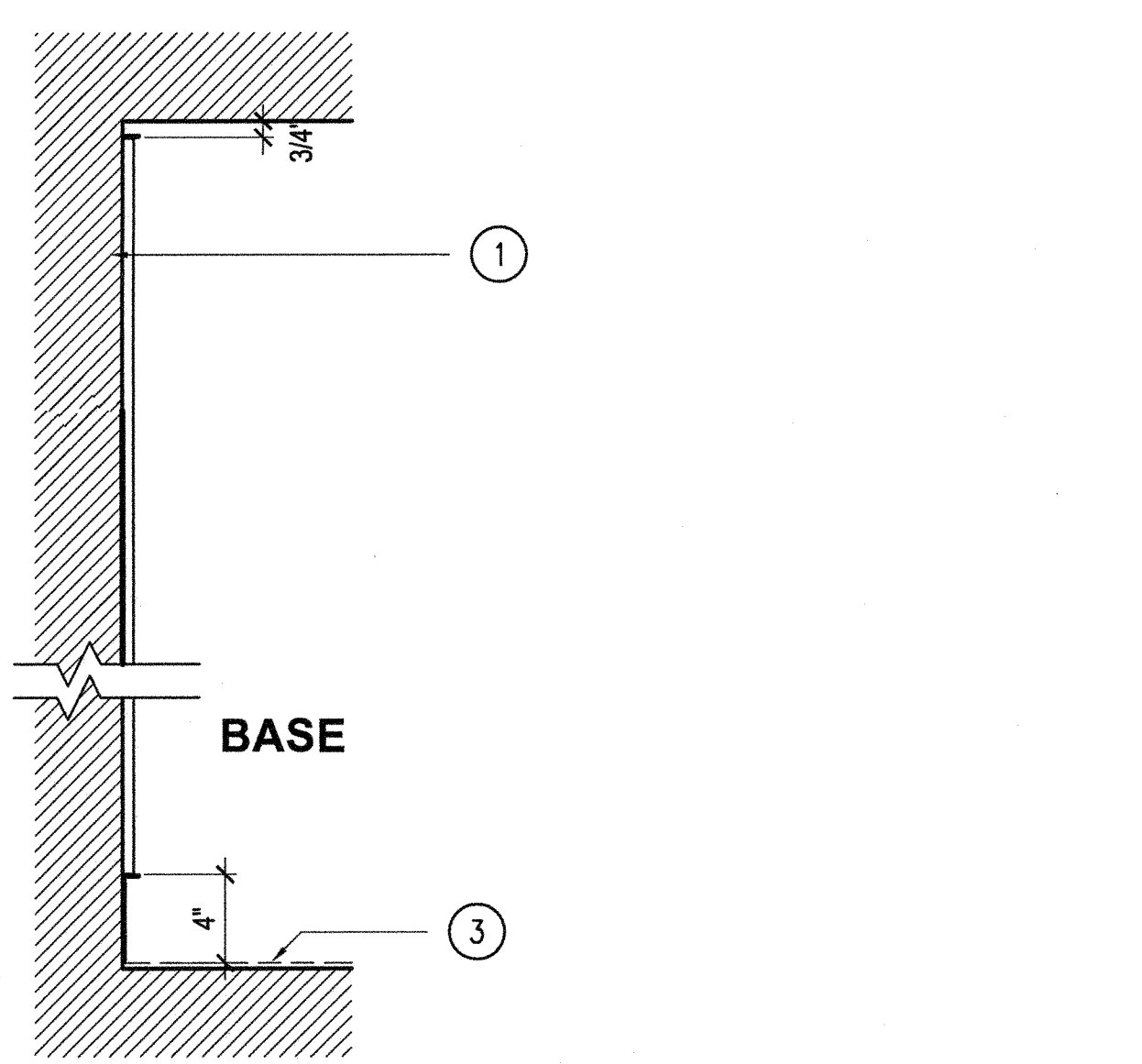
**MICROWAVE TOWER 6**  
SCALE: 1 1/2" = 1'-0"



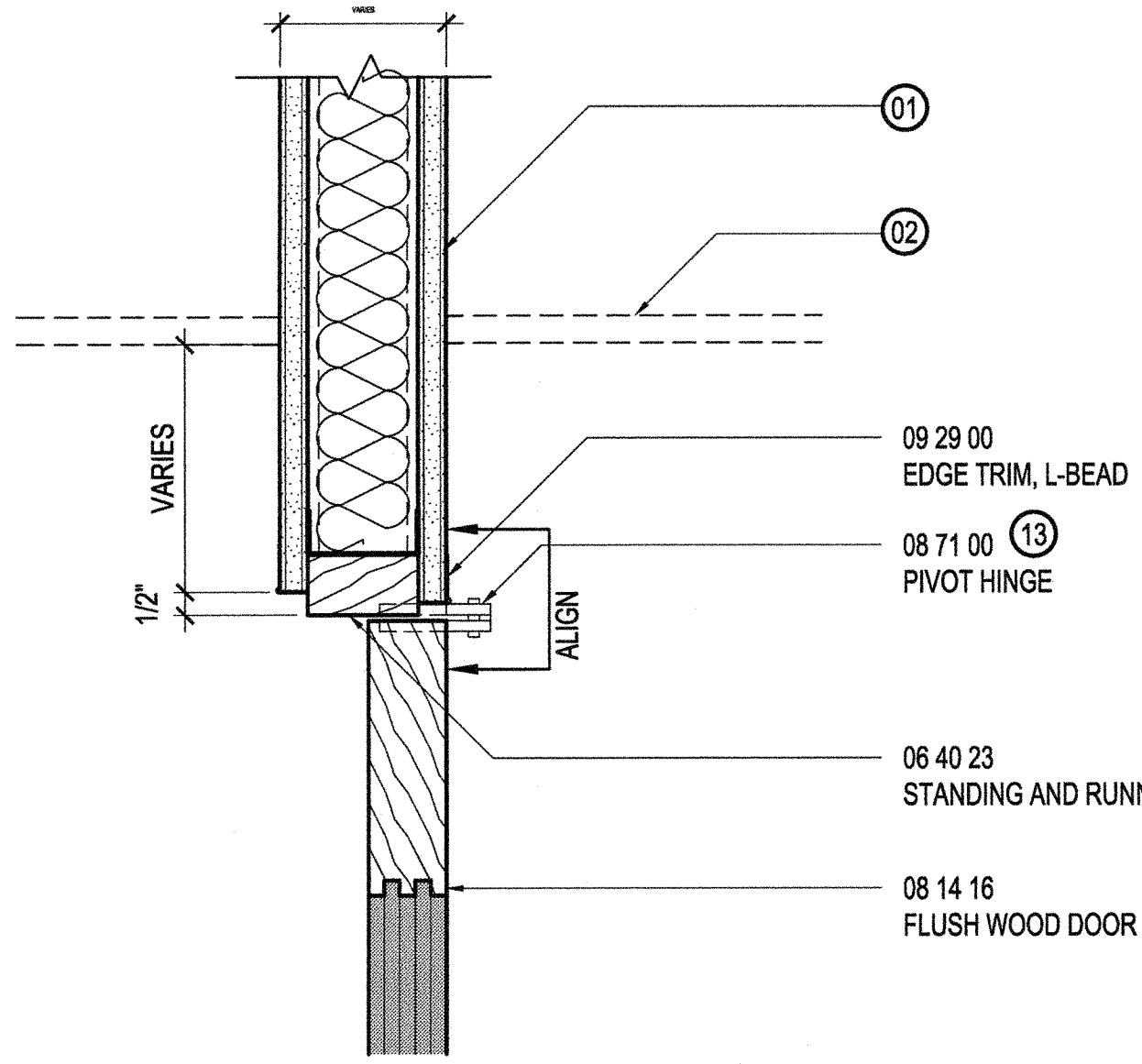
**BASE CABINET 1**  
SCALE: 1 1/2" = 1'-0"



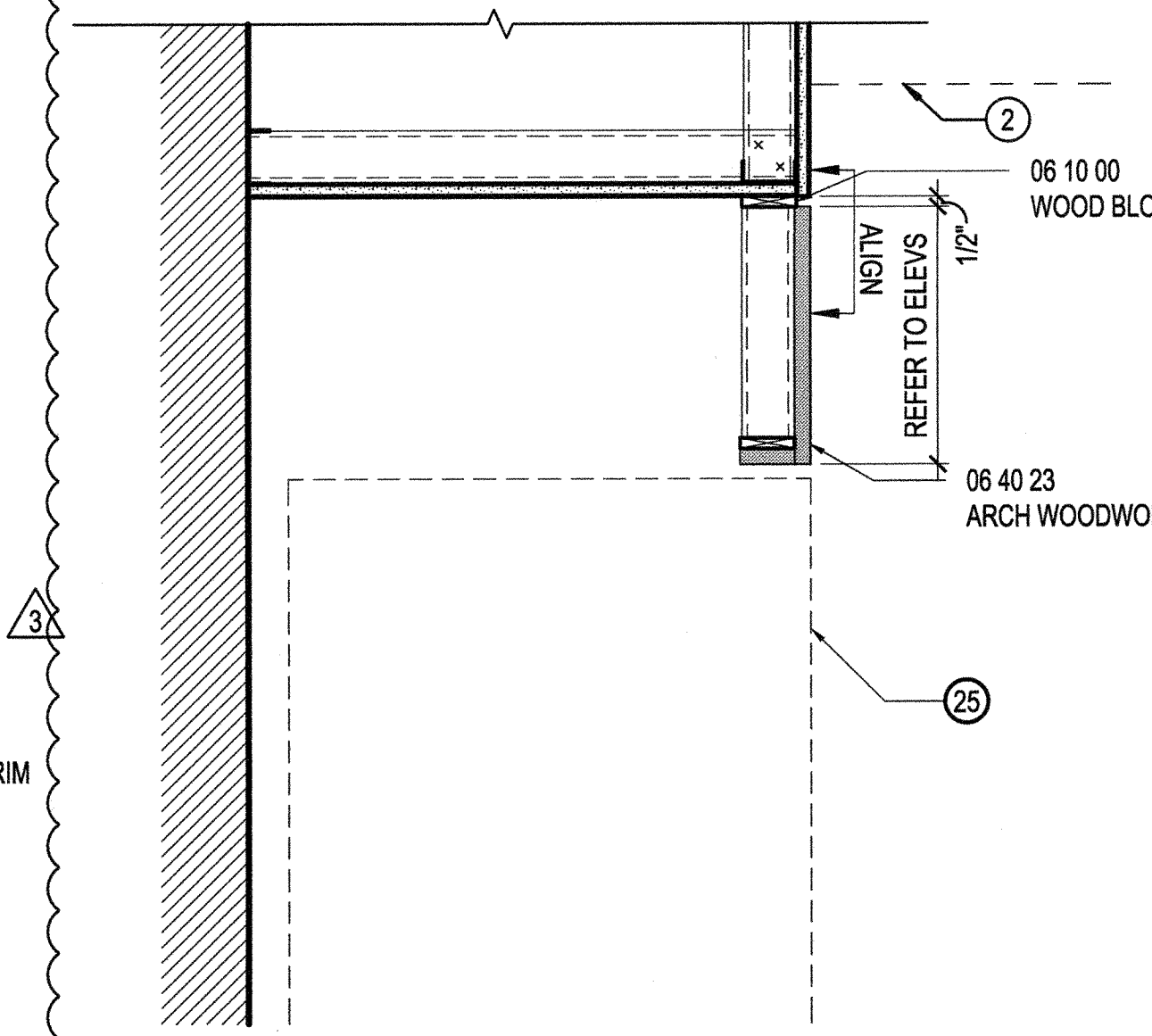
**BASE CABINET WITH DRAWERS 2**  
SCALE: 1 1/2" = 1'-0"



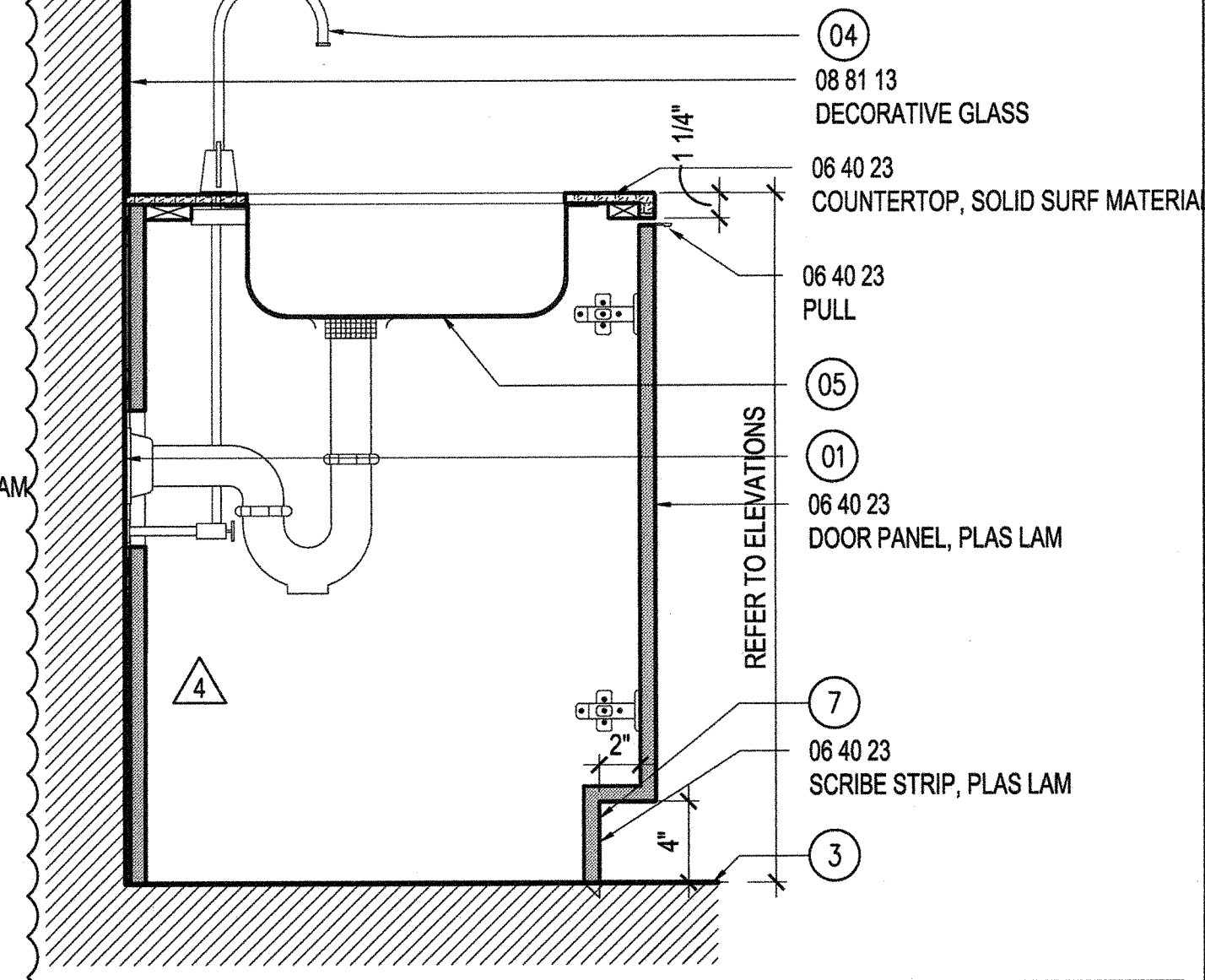
**TACKBOARD SECTION DETAIL 15**  
SCALE: 1 1/2" = 1'-0"



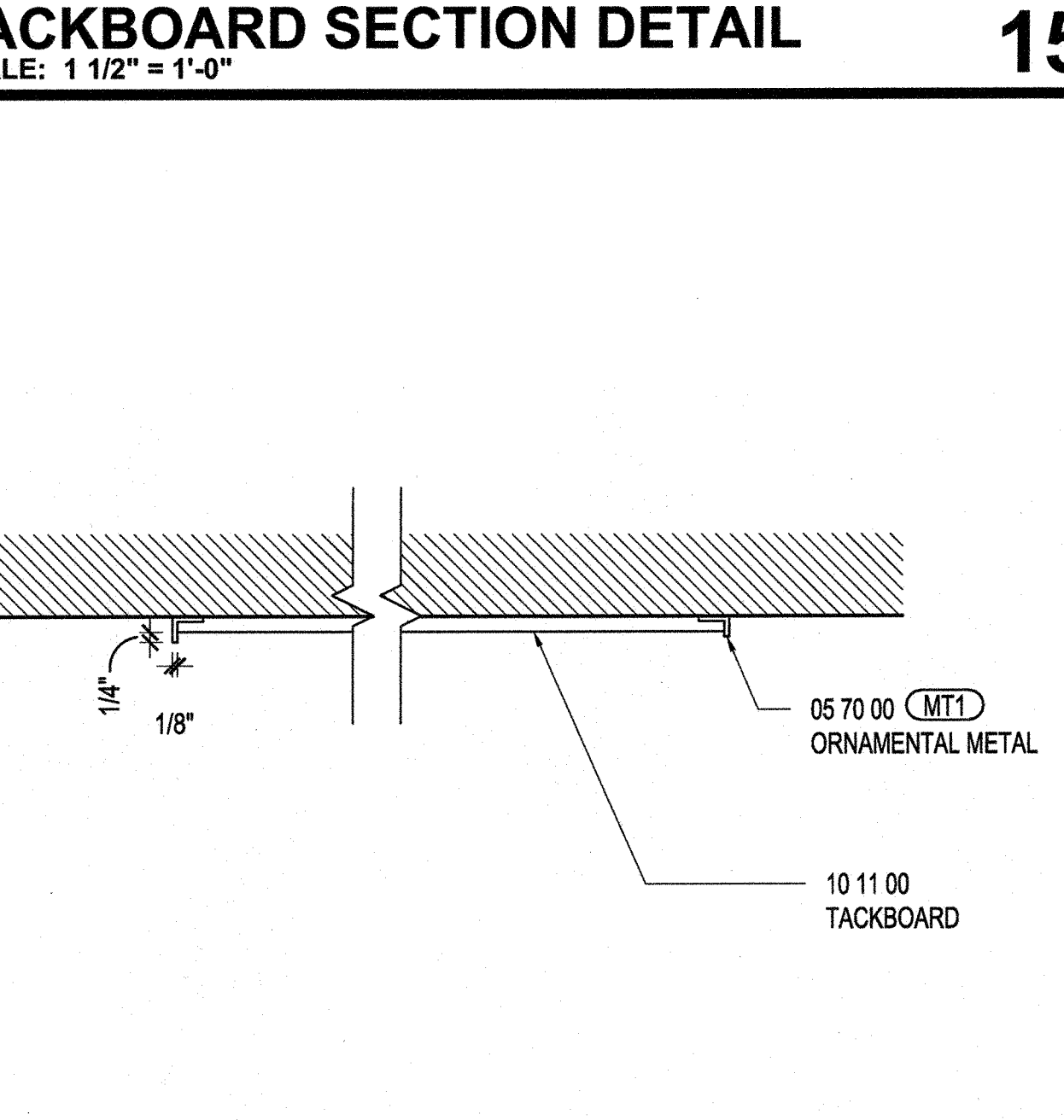
**FLUSH WOOD DOOR HEAD 11**  
SCALE: 3" = 1'-0"



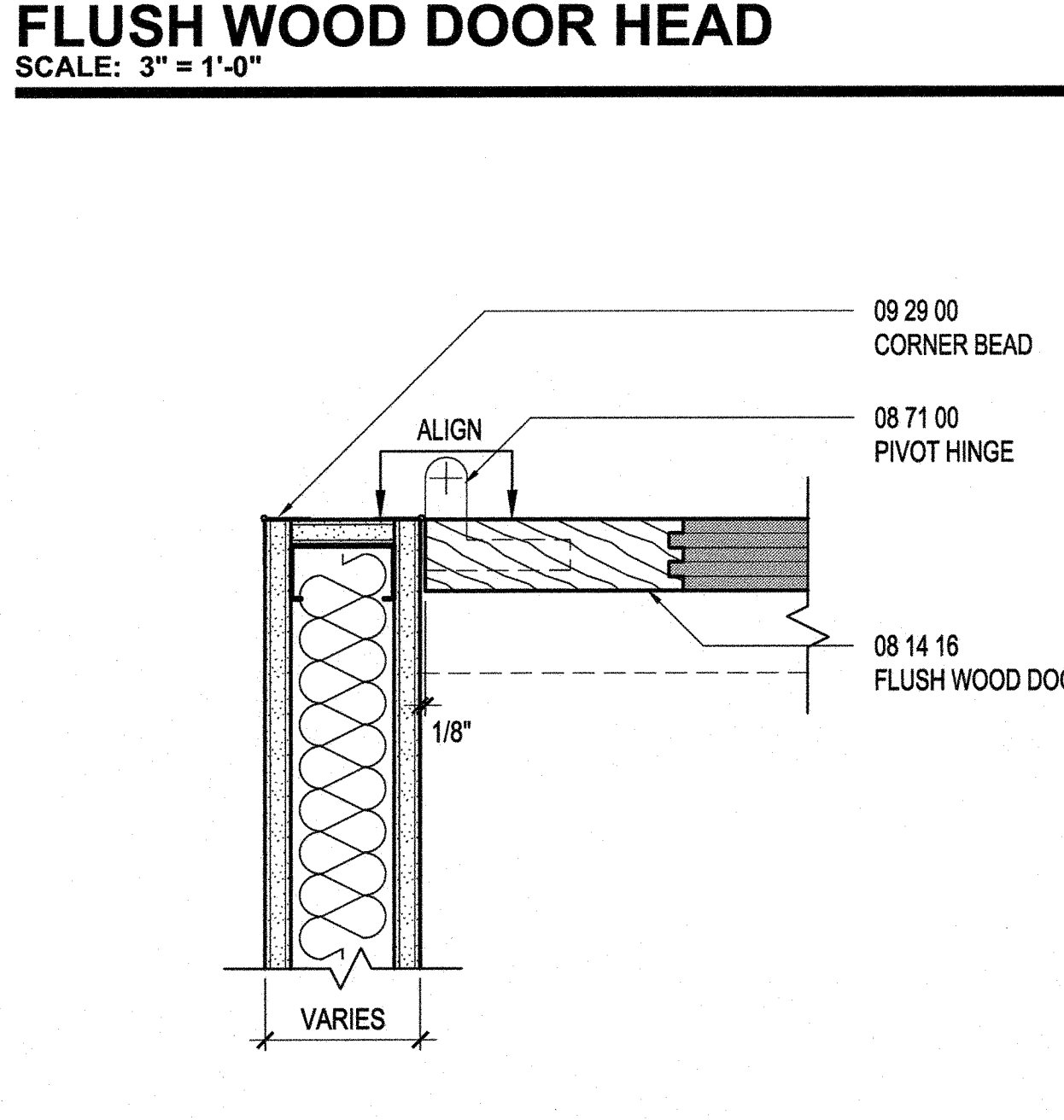
**PANTRY FASCIA PANEL 7**  
SCALE: 1 1/2" = 1'-0"



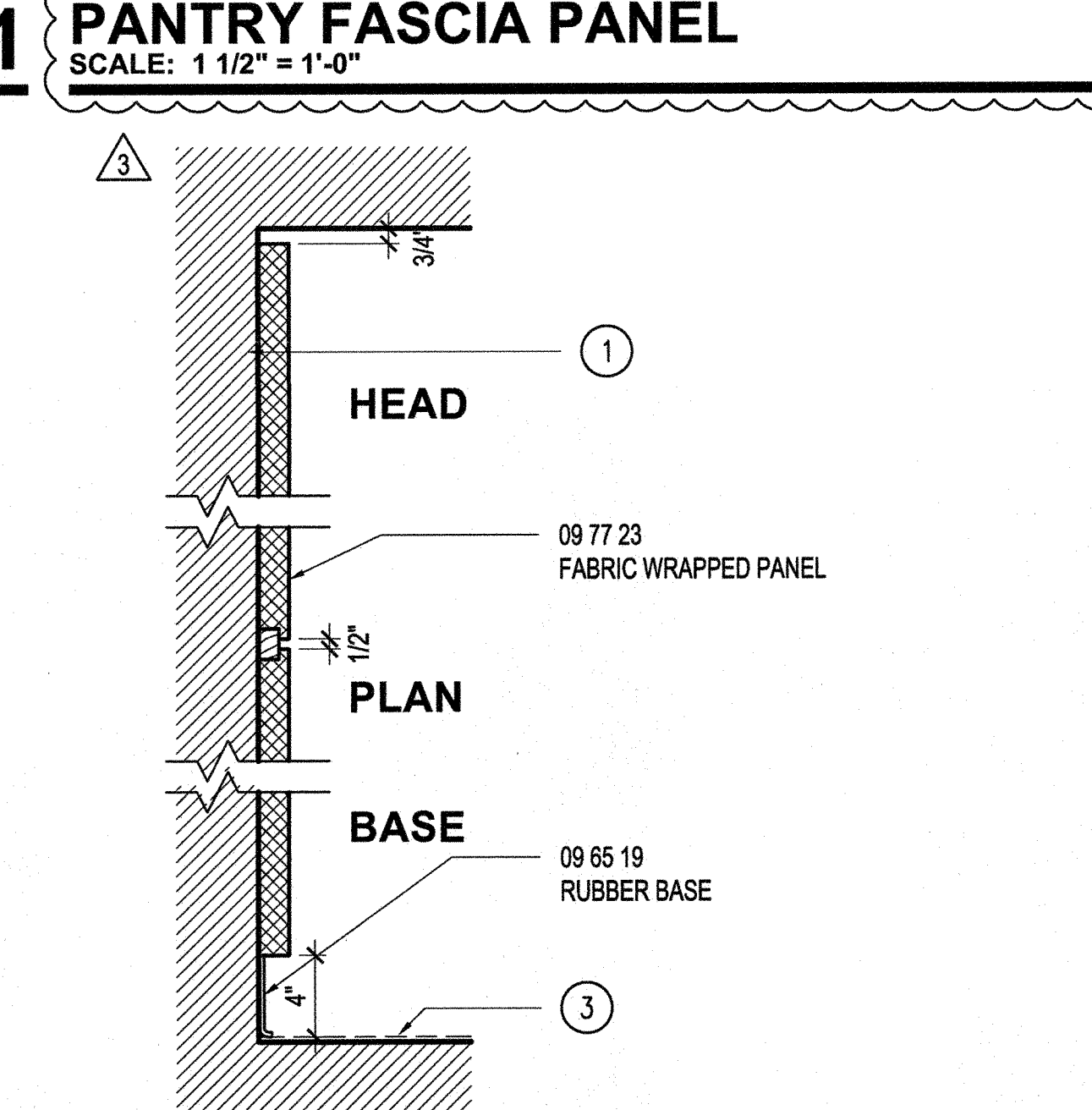
**SINK CABINETS 3**  
SCALE: 1 1/2" = 1'-0"



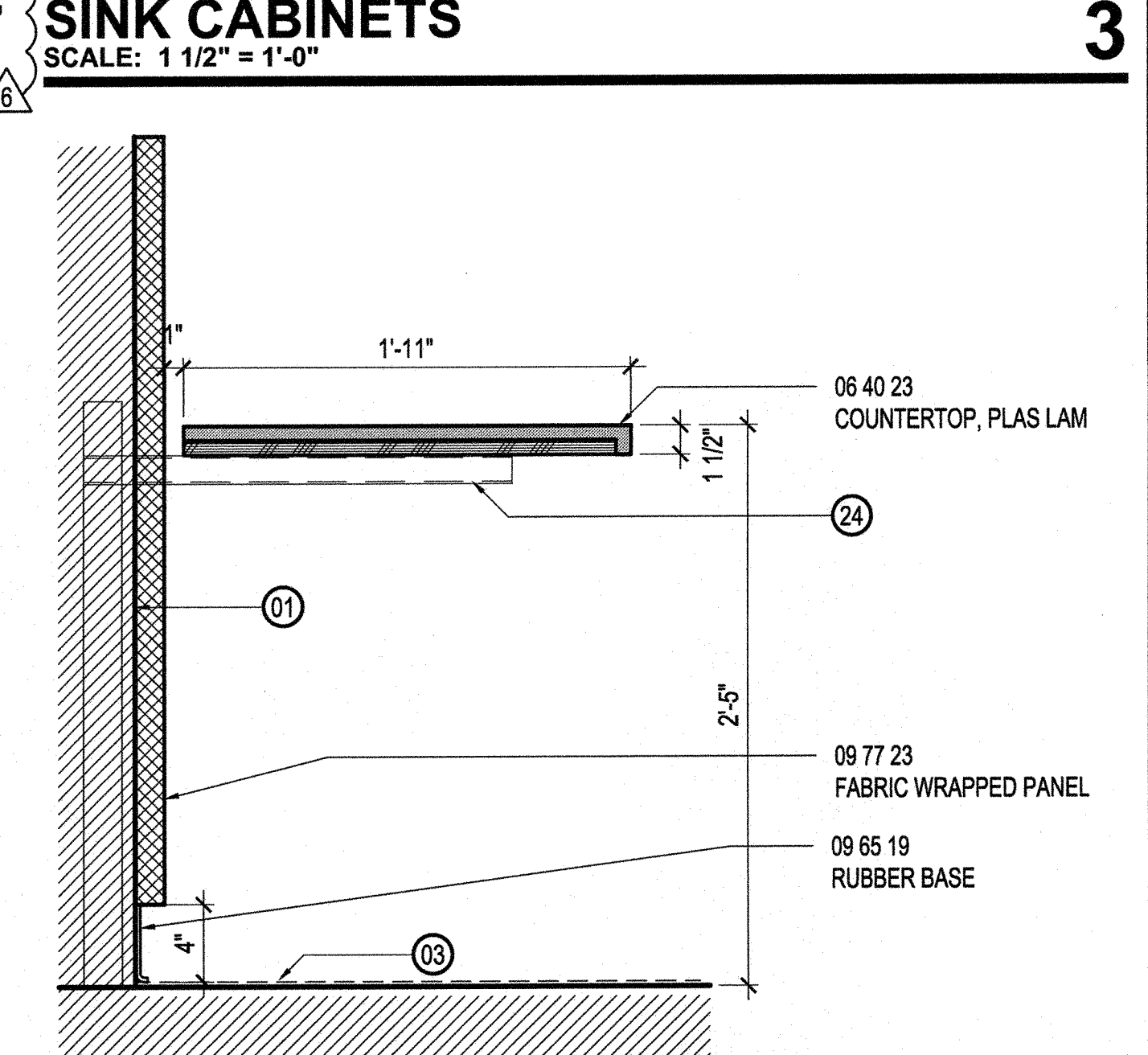
**TACKBOARD EDGE PLAN DETAIL 16**  
SCALE: 3" = 1'-0"



**FLUSH WOOD DOOR JAMB 12**  
SCALE: 3" = 1'-0"



**FABRIC WRAPPED PANEL DETAIL 8**  
SCALE: 1 1/2" = 1'-0"



**QUIET ROOM COUNTER SECTION 4**  
SCALE: 1 1/2" = 1'-0"

**SHEET NOTES**

- 01 SCHEDULED OR EXISTING PARTITION; REFER TO CONSTRUCTION PLAN
- 02 SCHEDULED CEILING; REFER TO REFLECTED CEILING PLAN
- 03 SCHEDULED FLOOR FINISH; REFER TO FINISH PLAN
- 04 SCHEDULED FAUCET SET; REFER TO EQUIPMENT SCHEDULE
- 05 SCHEDULED SINK; REFER TO EQUIPMENT SCHEDULE
- 06 PIPE INSULATION; REFER TO ENGINEERING DRAWINGS FOR SPECIFICATION
- 07 INTEGRAL TOE KICK, NOTCH AS REQUIRED TO ALLOW DOORS TO SWING OPEN
- 08 PROVIDE REMOVEABLE DIVIDERS TO DIVIDE DRAWER INTO (6) EQUAL COMPARTMENTS
- 09 POWER OUTLET. REFER TO MEP FOR MORE INFORMATION
- 10 PROVIDE A FINISHED OPENING TO ACCESS ELECTRICAL DEVICE AND FOR EQUIPMENT VENTILATION. VERIFY OPEN DIMENSION WITH MANUFACTURERS.
- 11 OFFSET PIVOTS. REFER TO SPECIFICATIONS.
- 12 WOOD BLOCKING AS REQUIRED FOR STANDARDS AND BRACKETS
- 13 SOLID WOOD HEADER FINISHED TO MATCH ADJACENT DOOR FINISH U.O.N.
- 14 TRASH RECEPTACLE BY GC, SIZE SMALL OR LARGE. COORDINATE WITH PLANS.  
SIZE SMALL: RUBBERMAID SLIM JIM 23 GA. 30 1/4" x 20"D x 11"W FG354000GRAY  
SIZE LARGE: RUBBERMAID SQUARE BRUTE 40 GA. 28 3/4"H x 23 1/2"W x 23 1/2"D FG356000GRAY
- 15 S.S. TRASH CHUTE
- 16 PAINTED PT1
- 17 SCHEDULED AV EQUIPMENT. REFER TO AV DRAWINGS FOR ADDITIONAL INFO. PROVIDE BLOCKING.
- 18 SCHEDULED VENDING MACHINE. REFER TO ELEVATIONS.
- 19 PROVIDE EXTENDED TOP PIVOT ARM ROUTED INTO DOOR FRAME TO ACCOMMODATE 5/8" GYP BOARD
- 20 LINE OF WALL BEYOND
- 21 LINE OF HEADER ABOVE
- 22 SCHEDULED LIGHT FIXTURE
- 23 PULLS TO BE VALLI & VALLI A255, 26D SATIN CHROME, SIZE B.
- 24 STEEL TUBE OUTRIGGER & POST SUPPORT 3'-0" O.C. MIN.
- 25 SCHEDULED EQUIPMENT. REFER TO ELEVATIONS.

**GENERAL NOTES**

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Issue	Date & Issue Description	By	Check
01	06/22/12	SJ	SJ
02	07/31/12	ESMC	SJ
03	08/10/12	ESMC	SJ
04	09/12/12	ESMC	SJ
05	10/05/12	ESMC	SJ
06	12/21/12	ES	SJ
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Project Name  
VERIZON V.I.P.

Project Number  
06.8740.000

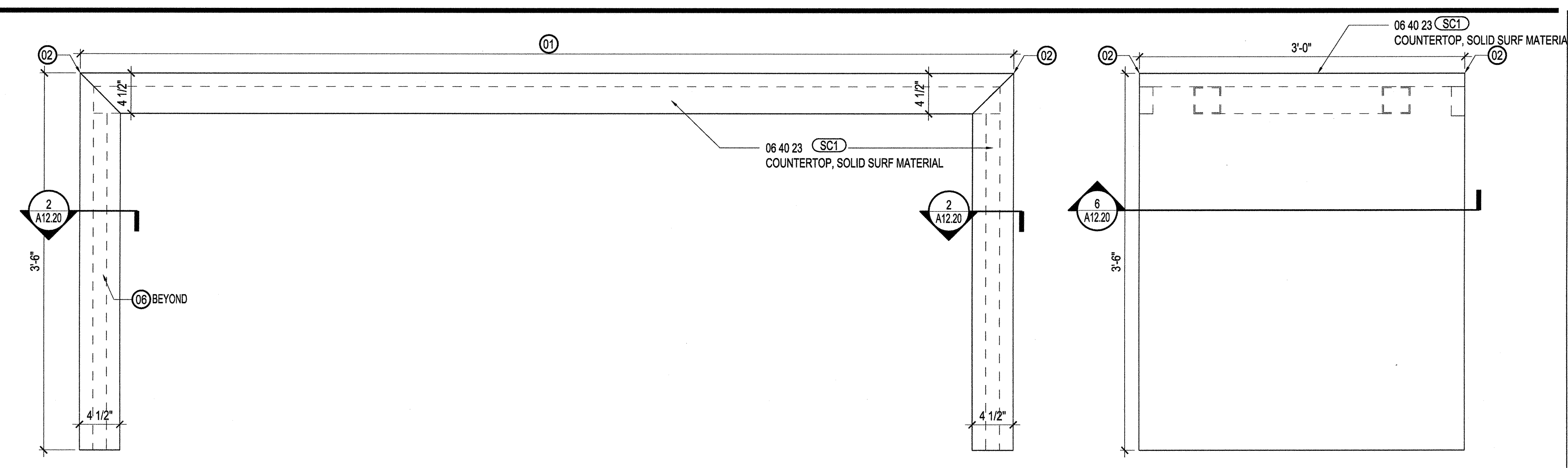
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Description  
TYPICAL MILLWORK DETAILS

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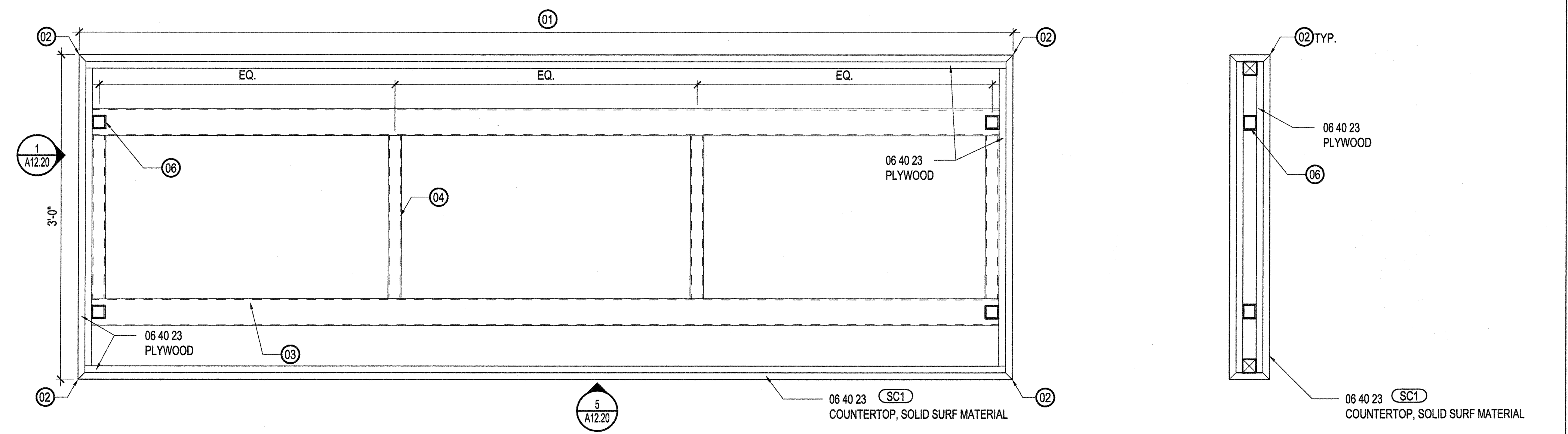
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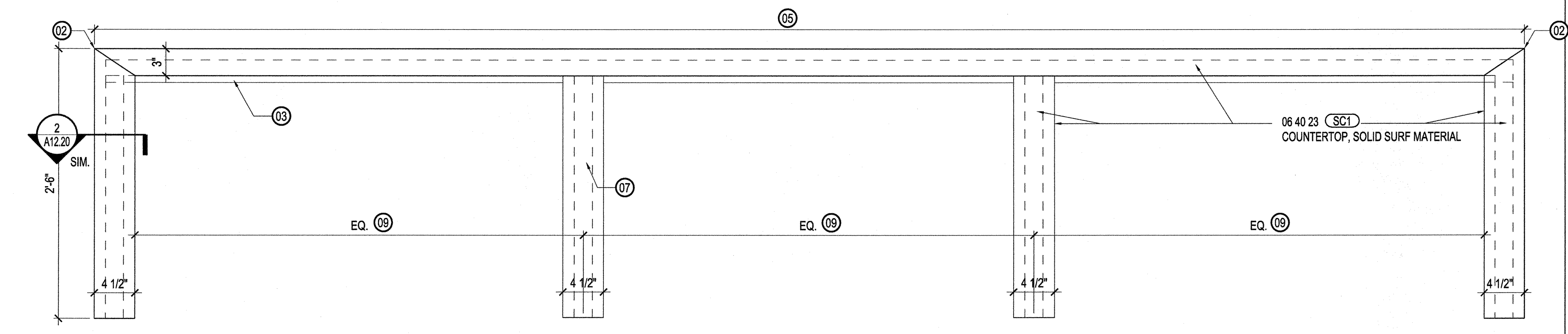
**PANTRY TABLE ELEVATION**  
SCALE: 1 1/2" = 1'-0"

**PANTRY TABLE ELEVATION**  
SCALE: 1 1/2" = 1'-0"



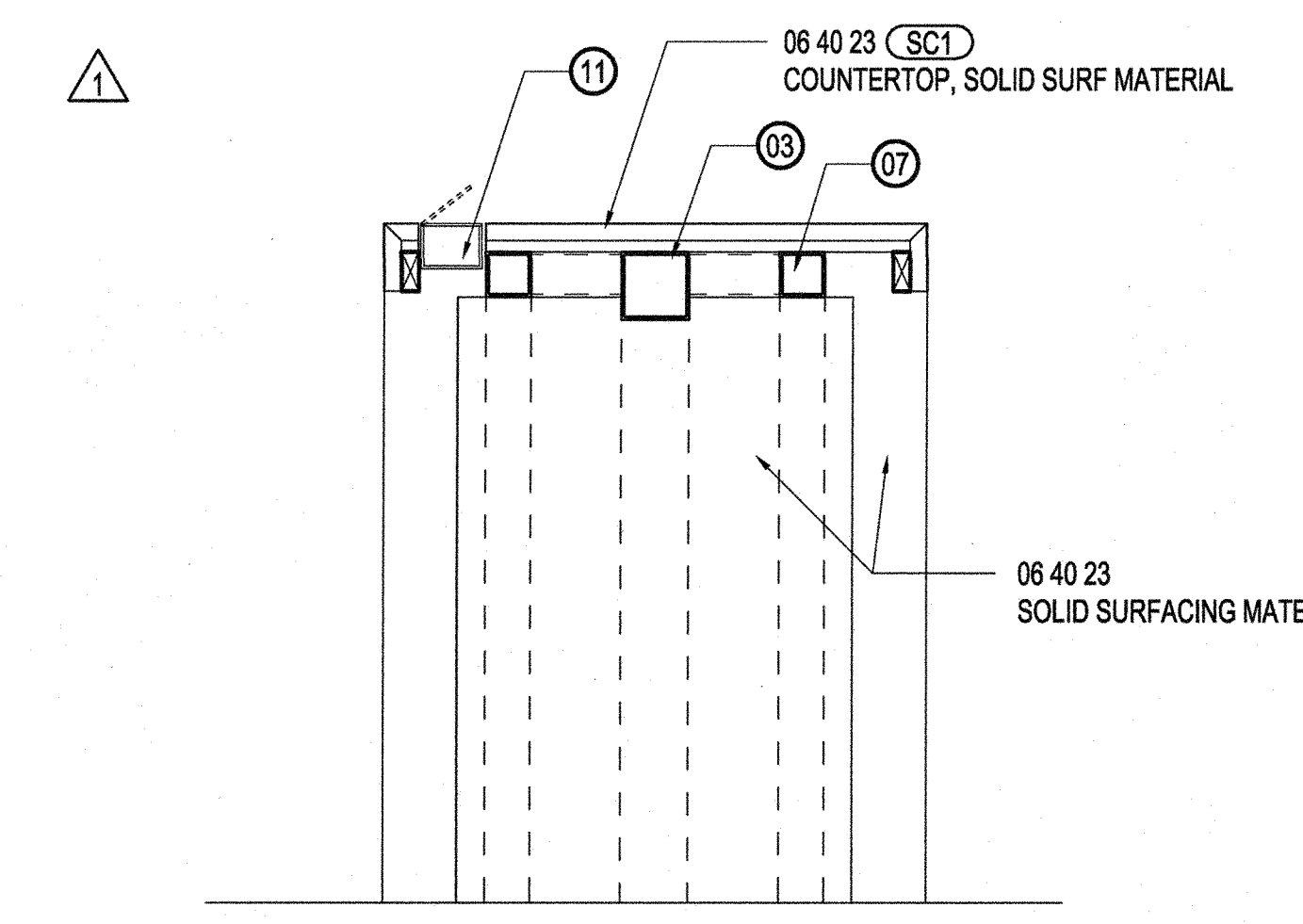
**PANTRY TABLE SECTION**  
SCALE: 1 1/2" = 1'-0"

**PANTRY TABLE SECTION**  
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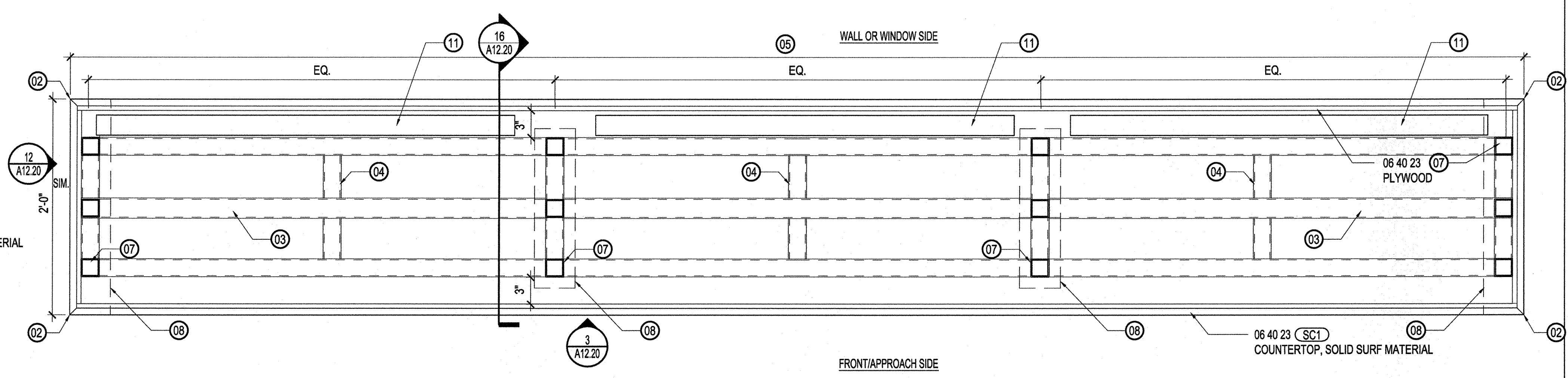


**TOUCHDOWN TABLE ELEVATION**  
SCALE: 1 1/2" = 1'-0"

- SHEET NOTES**
- 01 REFER TO PLANS.
  - 02 1/8" QUIRK
  - 03 2 1/2" STEEL SQUARE HOLLOW SECTION. PAINT EXPOSED SURFACES PT4.
  - 04 STEEL SQUARE SECTION OUTRIGGER MAX 3'-0" O.C.
  - 05 REFER TO PLANS FOR TABLE LENGTH.
  - 06 1 1/2" SQUARE HOLLOW SECTION POST
  - 07 2" SQUARE SECTION. PAINT EXPOSED SURFACES PT4
  - 08 LINE OF LEG BELOW ENCLOSED IN SC1
  - 09 NUMBER OF VERTICAL SUPPORTS TO BE DETERMINED BY TABLE LENGTH. MAX SPAN 10'.
  - 10 STEEL HORIZONTAL SUPPORT BEYOND
  - 11 CONTINUOUS PLUGMOLD - DOUG MOCKETT FLIP DOOR TROUGH



**TOUCHDOWN TABLE SECTION**  
SCALE: 1 1/2" = 1'-0"



**TOUCHDOWN TABLE SECTION**  
SCALE: 1 1/2" = 1'-0"

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DESIGN CENTER

THIS SET OF PLANS AND SPECIFICATIONS MUST BE USED FOR THE WORK AND SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL JURISDICTIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL JURISDICTIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL JURISDICTIONS.

Issue	Date & Issue Description	By	Check
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01	Issued for Plan Check	ES/MC	SJ
02	08/10/12	ES/MC	SJ
02	ISSUED FOR CONSTRUCTION	ES/MC	SJ
03	10/05/12	ES/MC	SJ
03	REVISED FOR PLAN CHECK COMMENTS	ES	SJ
04	12/21/12	ES	SJ
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05	BULLETIN #4		

Seal/Signature

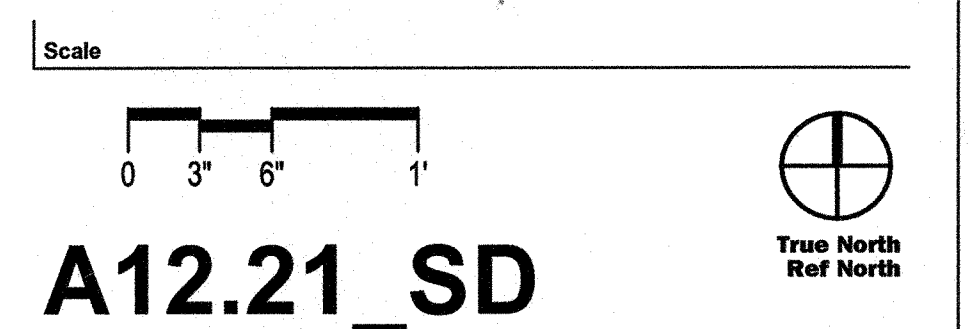


Project Name  
VERIZON V.I.P.

Project Number  
06.8740.000

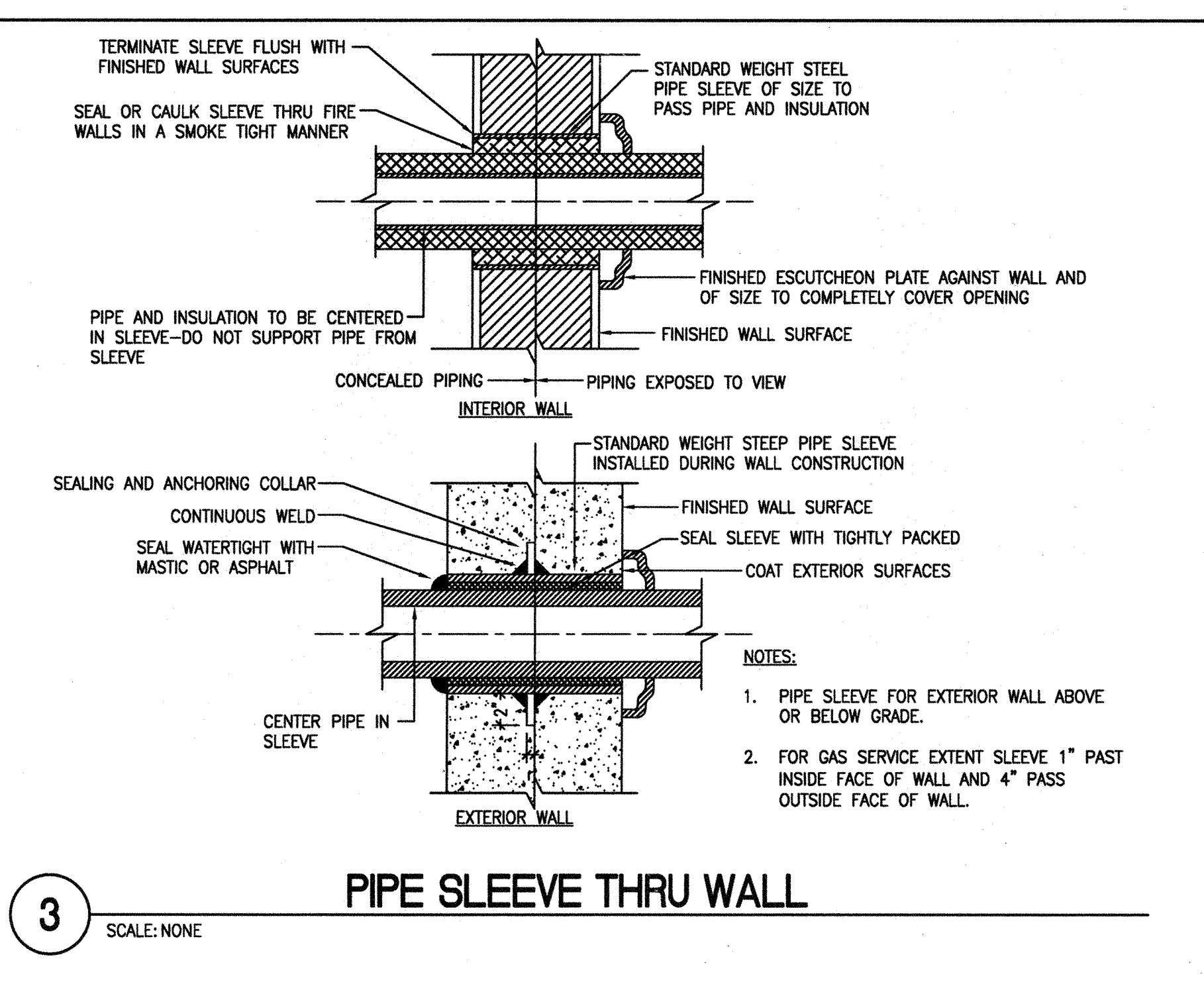
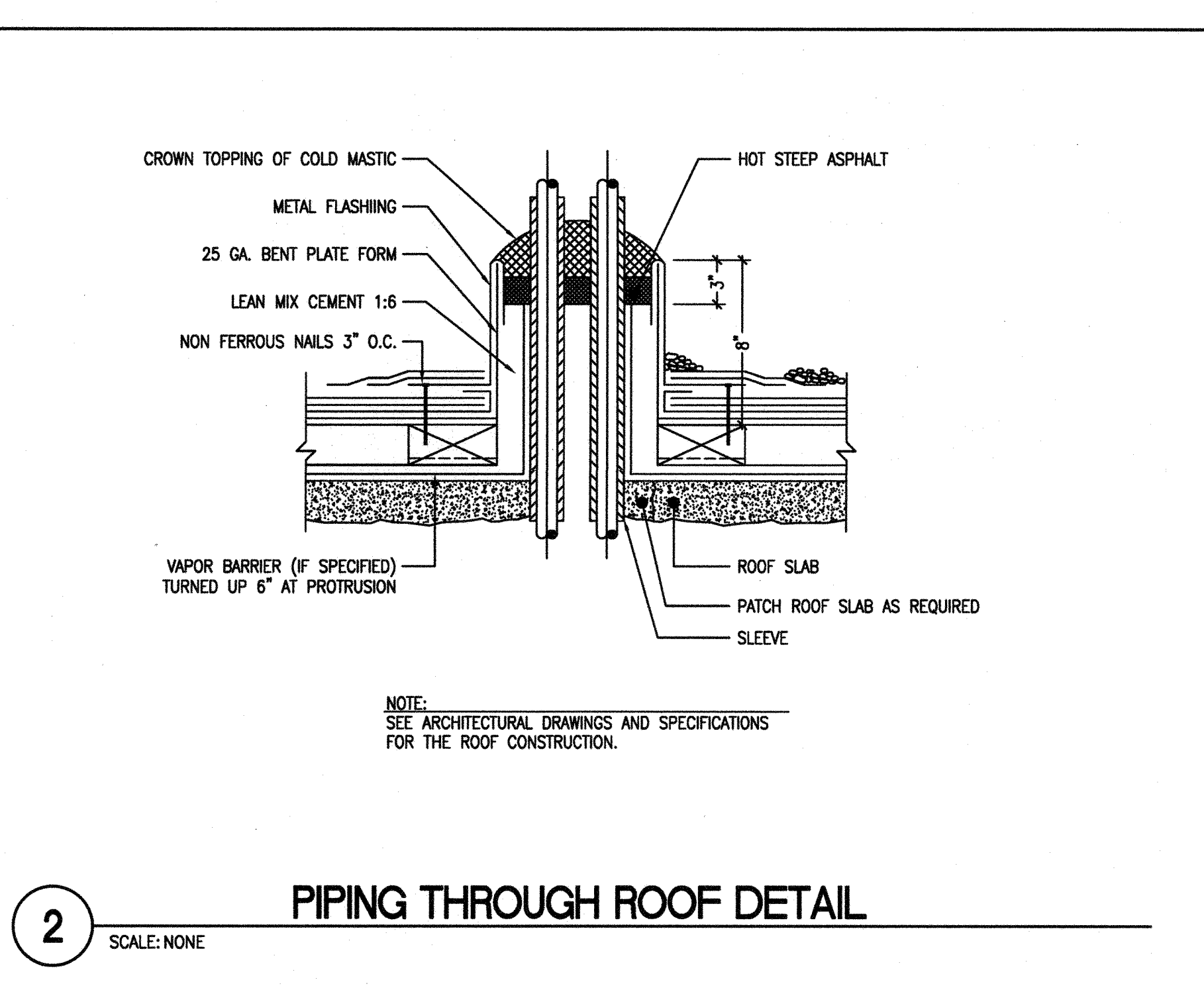
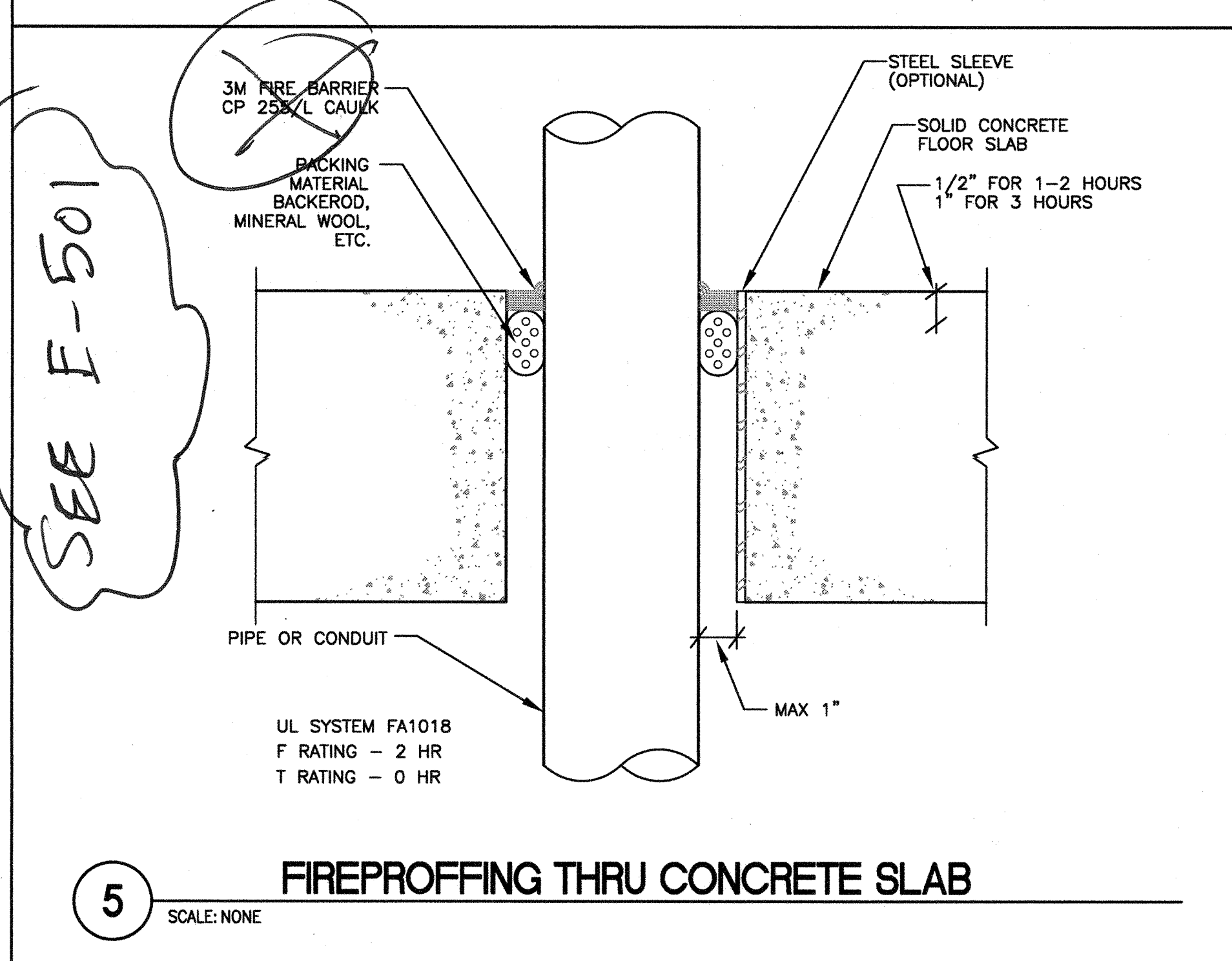
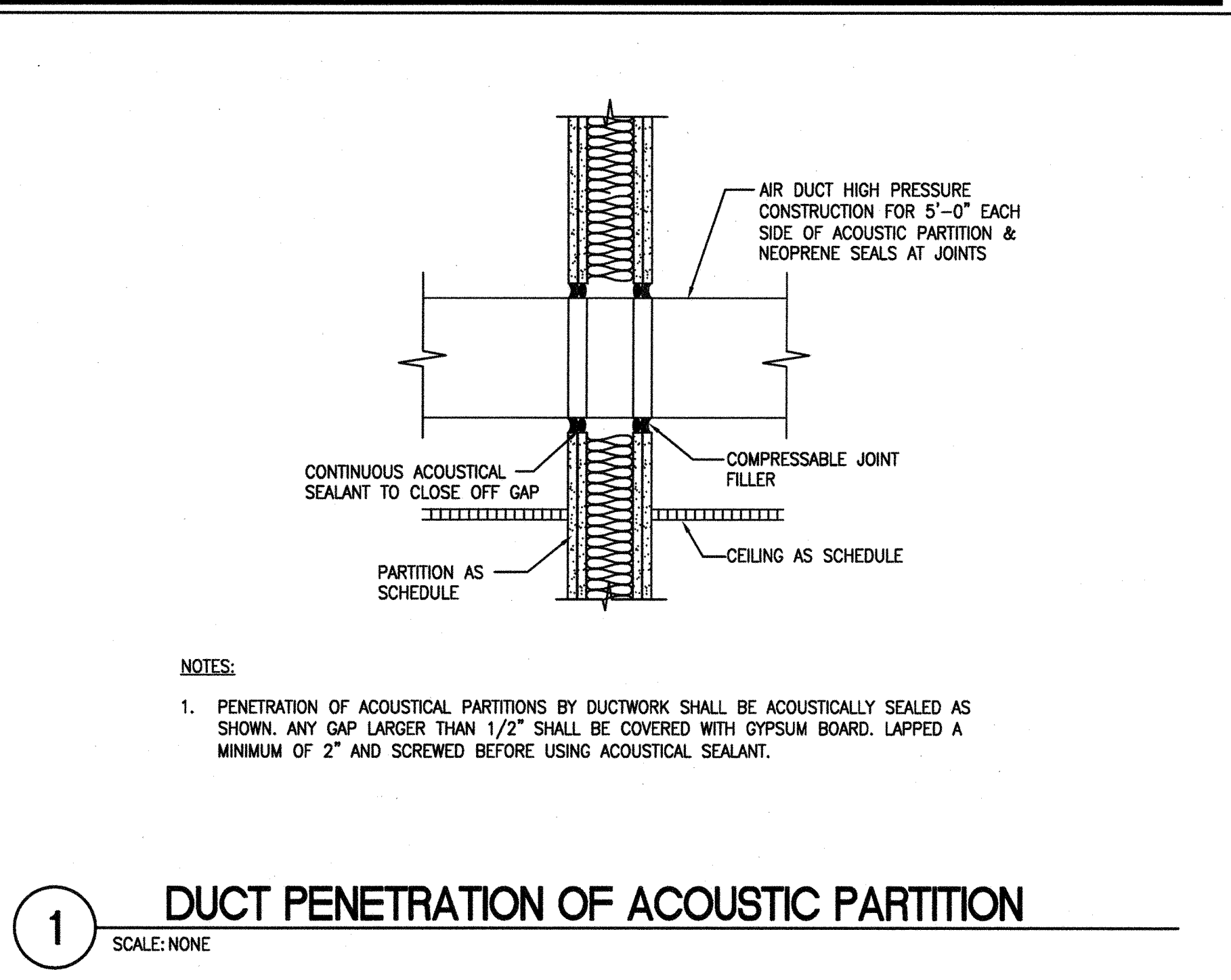
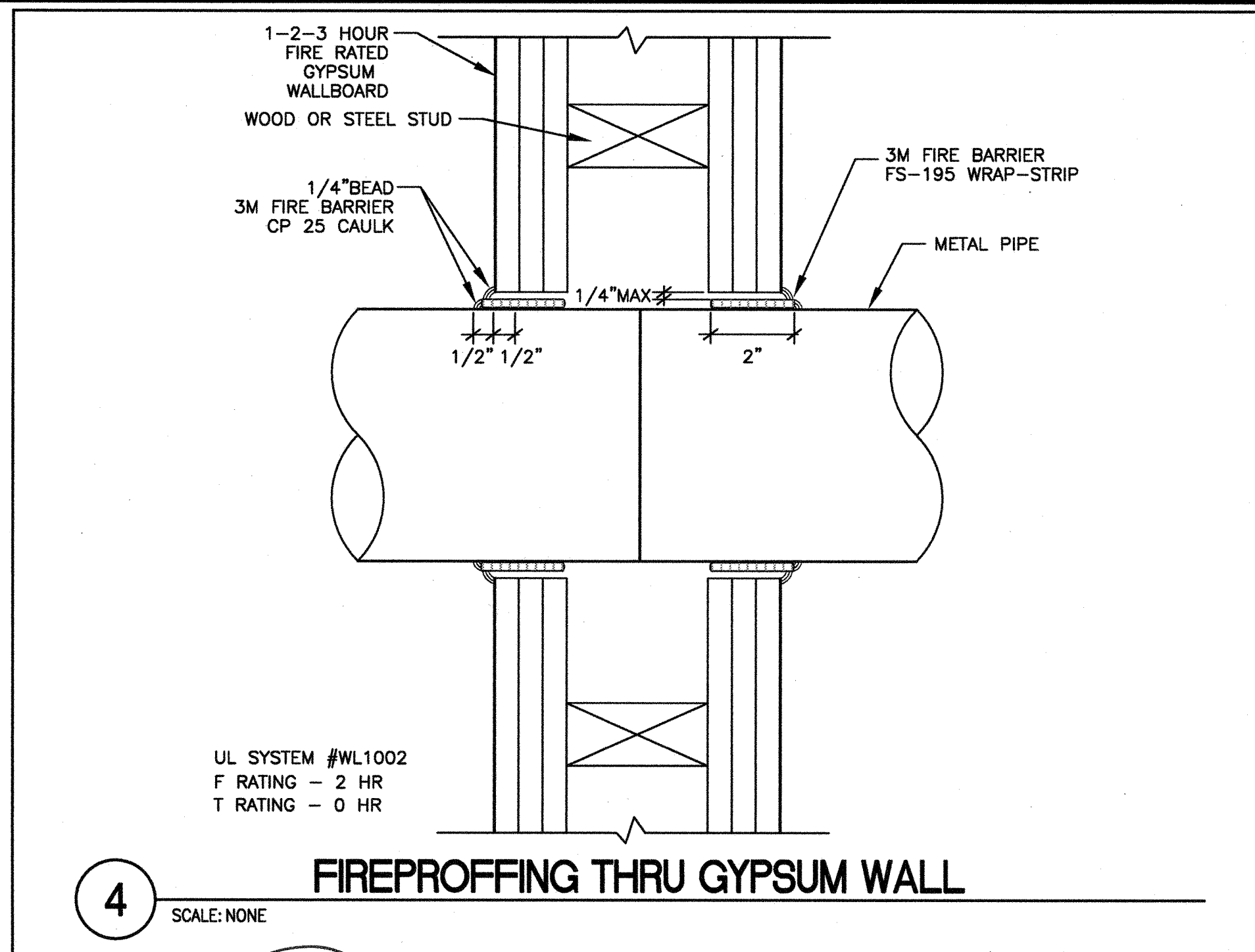
CAD File Name  
A12-00

Description  
TYPICAL MILLWORK DETAILS



**A12.21\_SD**





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Issue	Date & Issue Description	By	Check
01	07/31/12	-	-
PLAN CHECK			
1	08/10/12	-	-
ISSUE FOR CONSTRUCTION			
2	09/12/12	-	-
BULLETIN 1			
3	10/09/12	-	-
BULLETIN 2			
4	10/23/2012	-	-
REVISED FOR PLAN CHECK			
5	11/19/12	-	-
BULLETIN 3			
6	02/21/13	-	-
BULLETIN 4			

Seal/Signature

Project Name  
VERIZON V.I.P.  
 Project Number  
VZCOX000  
 CAD File Name  
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 Description  
MECHANICAL DETAILS

Scale  
NONE

M-502  
  
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